

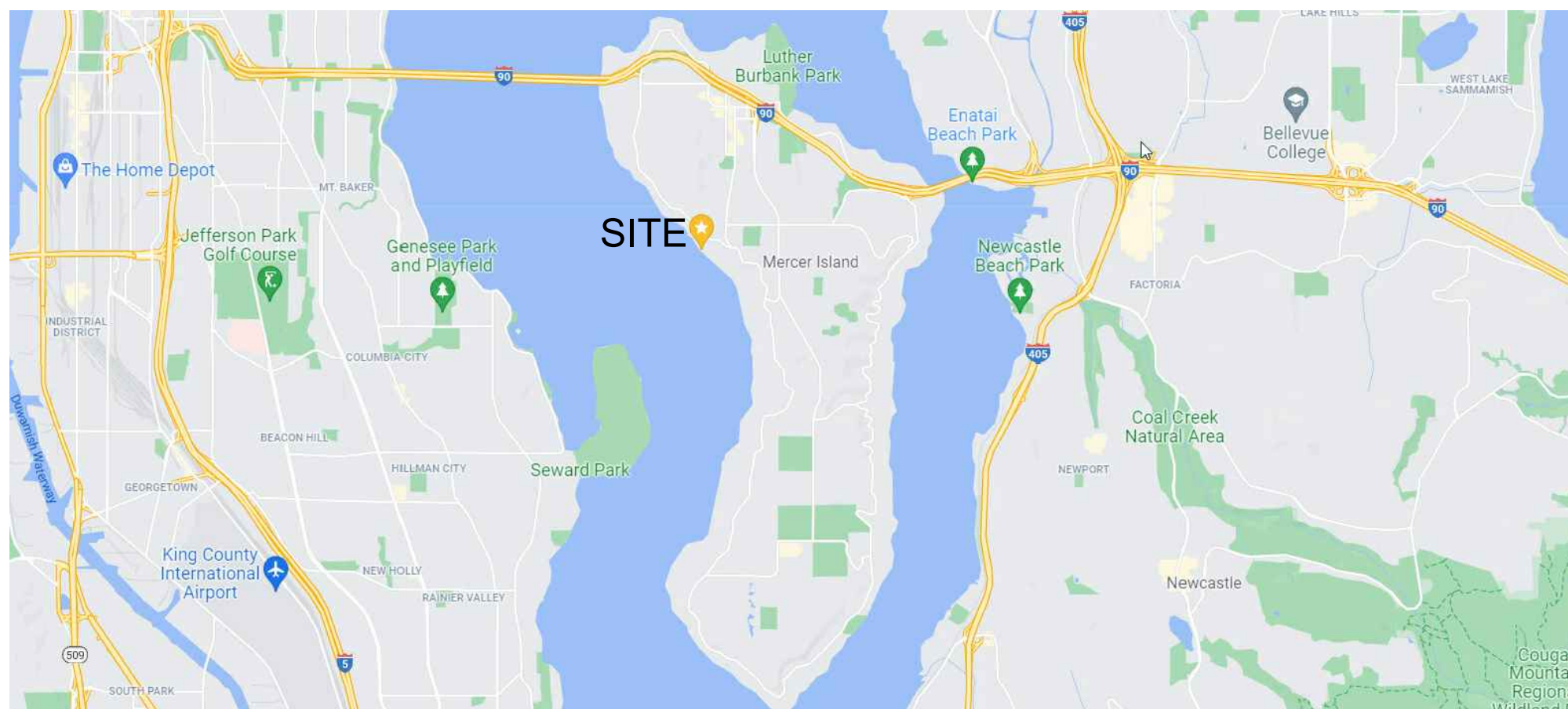
MIST RESIDENCE PERMIT SET



CONCEPTUAL PROJECT IMAGE



CONCEPTUAL PROJECT IMAGE



VICINITY MAP

LEGAL DESCRIPTION:

ISLAND PARK REPLAT OF POR SELY 1/2 OF 5 & NWLY 1/2 OF 6 BEG AT MOST WLY COR OF NELY 323 FT OF SELY 1/2 OF 5 TH SELY 90.67 FT TO MOST SLY COR OF NWLY 40 FT OF NELY 332.27 FT OF SD 6 TH SWLY PLW SELY LN SD NWLY 1/2 OF 6 DIST 76.73 FT TH WLY 25 FT TO MOST SLY COR OF NWLY 25 FT OF NELY 429 FT OF SD 6 TH SWLY PLW SELY LN SD NWLY 1/2 OF 6 TO OUTER LIMITS OF SH LDS TH NELY ALG SD OUTER LIMITS TO PT ON SWLY EXT OF NWLY LN SD SELY 1/2 OF 5 TH NELY TO POB TGW UND 1/6 INT IN NWLY 10.00 FT OF NELY 203.00 FT OF SELY 1/2 OF SD LOT 5 TGW POR ADJ ELY & LESS POR NLY PER SCC #10-2-45130-7. PLAT BLOCK: C. PLAT LOT: 5-6

ENERGY/MECHANICAL CODE COMPLIANCE:

- 1) WORK TO COMPLY WITH THE 2018 WSEC AND 2018 IMC.
 - 2) ALL GLAZING AND DOORS TO MEET MAXIMUM 0.28 U-FACTOR PER THE 2018 WSEC PRESCRIPTIVE UNLIMITED GLAZING REQUIREMENTS. REFER TO SHEETS A6.0-A6.3 FOR WINDOW SCHEDULE.
- VERTICAL GLAZING (U): 0.28*
OVERHEAD GLAZING (U): 0.50
CEILING: R-49
VAULTED CEILING: R-38
WALL ABOVE GRADE: R-21 INT
WALL INT. BELOW GRADE: R-21 TB
WALL EXT. BELOW GRADE: R-10
FLOOR: R-30*
SLAB ON GRADE: R-10
*SEE ITEM #8 REGARDING BUILDING ENVELOPE

- 3) A MINIMUM OF 75 PERCENT OF ALL LIGHT FIXTURES SHALL BE HIGH EFFICACY PER WAC 51-11R.
- 4) PERMANENTLY MOUNTED EXTERIOR LIGHTS FIXTURES WILL BE HIGH EFFICACY UNLESS EQUIPPED WITH BUILT-IN PHOTO CONTROL SENSOR PER WSEC 505.2.

- 5) ALL BATHROOMS & TOILET ROOMS TO BE EQUIPPED WITH A MINIMUM 50 CFM INTERMITTENTLY OPERATING SOURCE SPECIFIC EXHAUST FAN. ALL KITCHENS TO BE EQUIPPED WITH A MINIMUM 100 CFM INTERMITTENTLY OPERATING SOURCE SPECIFIC EXHAUST FAN PER IRC M 1507.4.

- 6) WHOLE HOUSE VENTILATION TO BE PROVIDED PER IRC M1507.3. MIN. OUTDOOR AIRFLOW RATE SHALL BE 105 CFM.

- 7) HEATING OPTION 2 - HEAT PUMP
1 CREDIT

- 8) BUILDING ENVELOPE: VERTICAL FENESTRATION U = 0.28, FLOOR R-38 & CONTINUOUS R-10 UNDER SLAB
(ENERGY CREDIT 1.3) 0.5 CREDITS

- 9) AIR LEAKAGE TO 2.0 AIR CHANGES PER HOUR MAX AT 50 PASCALS
(ENERGY CREDIT 2.2) 1.0 CREDIT

- 10) HIGH EFFICIENCY HVAC: AIR SOURCE, CENTRALLY DUCTED HEAT PUMP W/ MIN. HSPF OF 11.0
(ENERGY CREDIT 3.5) 1.5 CREDITS

- 11) EFFICIENT WATER HEATING: ENERGY STAR RATED GAS WATER HEATER WITH A MINIMUM UEF OF 0.91.
(ENERGY CREDIT 5.3) 1.0 CREDIT

- 12) RENEWABLE ELECTRIC ENERGY OPTION. SOLAR PANELS TO BE INSTALLED ON GARAGE ROOF TO PROVIDE 1200 KWH OF ELECTRICAL GENERATION PER HOUSING UNIT ANNUALLY.
(ENERGY CREDIT 6.1) 1.0 CREDIT

TOTAL ENERGY CREDITS = 6 REQUIRED
BASED ON TABLE R406.3 FOR MEDIUM DWELLING UNIT.
ENERGY SELECTIONS FROM WSEC TABLE R406.2.

CONTACT INFORMATION:

ARCHITECT:
REGAN McCLELLAN, AIA
McCLELLAN ARCHITECTS
SEATTLE, WA
(206) 728-0480
REGAN@MCCARCH.COM

STRUCTURAL ENGINEER:
GARY E. GILL, S.E.
1125 NE 152ND ST
SHORELINE, WA 98155
(206) 992-2728
GILL26608@YAHOO.COM

GEOTECHNICAL ENGINEER:
ROB WARD, P.E.
GEOTECH CONSULTANTS, INC
SEATTLE, WA
(425) 747-5618
ROBW@GEOTECHNW.COM

MECHANICAL ENGINEER:
NATALIE THROWER, P.E.
FRANKLIN ENGINEERING
KIRKLAND, WA
(425) 827-3324
NATALIE@FRANKLINENG.COM

PROJECT DATA:

PARCEL NUMBER: 362350-0395

PROJECT ADDRESS:
4045 W MERCER WAY
MERCER ISLAND, WA 98040

LOT SIZE: 12,289 SF

ZONE: R-15

OCCUPANCY TYPE: N/A

CONSTRUCTION TYPE: N/A

AUTOMATIC SPRINKLER SYSTEM:
REQUIRED - "NFPA 13R - PLUS"

ENVIRONMENTALLY CRITICAL AREAS:
SHORELINE

PROJECT DESCRIPTION:
CONSTRUCTION OF A NEW SINGLE FAMILY RESIDENCE THAT INCLUDES PERMANENT AND TEMPORARY SHORING WALL SYSTEMS.

FAR:
4,915 SF MAXIMUM

LOT COVERAGE:
3,686 SF MAXIMUM

REQUIRED YARDS:
FRONT YARD = 20 FT*
REAR YARD = 50FT FROM OHWM
SIDE YARD = 10 FT

*FRONT YARD IS OPPOSITE P.L. PARALLEL TO OHWM

BUILDING HEIGHT:
MAX BUILDING HEIGHT = 30'-0"

PROJECT GROSS SQUARE FOOTAGE:
MEASURED FROM EXTERIOR WALLS. INCLUDES UNHEATED AREAS.

HEATED SPACES
UPPER LEVEL = 1,476 SF
MID LEVEL = 1,797 SF
LOWER LEVEL = 773 SF

HEATED TOTAL = 4,046 SF

UNHEATED SPACES
GARAGE = 700 SF
UNHEATED MECH. = 127 SF

UNHEATED TOTAL = 827 SF

TOTAL GROSS = 4,873 SF

SHEET LIST:

GENERAL:
G0.0 TITLE SHEET
G0.1 GENERAL NOTES

SURVEY

CIVIL:
C01 ESC PLAN
C02 DRAINAGE PLAN
C03 UTILITY PLAN
C04 WATER UTILITY PLAN
C05 WATER UTILITY PLAN
C06 WATER UTILITY PLAN
C07 WATER UTILITY PLAN
C08 GRADING PLANS
C09 TYPICAL DETAILS
C10 TYPICAL DETAILS

ARCHITECTURAL:
A0.1 ZONING DIAGRAMS
A1.0 SITE PLAN
A1.1 SITE SECTIONS

A2.1 LOWER LEVEL PLAN
A2.2 MID LEVEL PLAN
A2.3 UPPER LEVEL PLAN
A2.4 ROOF PLAN

A3.0 BUILDING ELEVATIONS
A3.1 BUILDING ELEVATIONS
A3.2 BUILDING ELEVATIONS
A3.3 BUILDING ELEVATIONS
A3.4 BUILDING ELEVATIONS

A4.0 BUILDING SECTIONS
A4.1 BUILDING SECTIONS
A4.2 BUILDING SECTIONS
A4.3 BUILDING SECTIONS

A5.0-5.2 BUILDING ASSEMBLIES

A6.0 WINDOW & DOOR SCHEDULE
A6.1 WINDOW & DOOR SCHEDULE
A6.2 WINDOW & DOOR SCHEDULE
A6.3 WINDOW & DOOR SCHEDULE

A8.0 TYPICAL DETAILS
A8.1 TYPICAL DETAILS

STRUCTURAL:
S1.0 GENERAL NOTES
S1.1 SHORING PLAN
S1.2 SHORING ELEVATION & DETAILS
S1.3 SHORING SCHEDULE & DETAILS
S1.4 SHORING SECTIONS
S2.0 LOWER LEVEL FOUNDATION PLAN
S2.1 MAIN LEVEL FRAMING PLAN
S2.2 SECOND FLOOR FRAMING PLAN
S2.3 ROOF FRAMING PLAN
S2.4 FRAMING ELEVATIONS
S3.1 FOUNDATION DETAILS
S3.2 FOUNDATION DETAILS
S3.3 FOUNDATION DETAILS
S4.1 TYPICAL FRAMING DETAILS
S4.2 FRAMING DETAILS
S4.3 FRAMING DETAILS

LANDSCAPE:
L1.0 SITE PLANTING PLAN

PROJECT:
WESTVIEW RESIDENCE
4045 W MERCER WAY
MERCER ISLAND WA 98040

CLIENT:
MIST LLC

ISSUE:
PERMIT SUBMISSION 02.25.2022

PERMIT REVISIONS 1 08.12.2022

PERMIT REVISIONS 2 07.21.2023

DATE:
FEBRUARY 25, 2022

SHEET TITLE:
TITLE SHEET

SHEET:

GO.0

FIRE CODE ALTERNATE KEY NOTES: (XX)
1. HOME TO BE EQUIPPED WITH AND MEET ALL REQUIREMENTS OF A "NFPA 13R - PLUS" SPRINKLER SYSTEM.
2. UPGRADE TO A MINIMUM 1-1/2" WATER METER AND 2" SERVICE LINE.
3. PROVIDE A MONITORED "HOUSEHOLD FIRE ALARM SYSTEM" PER NFPA 72 CHAPTER 29.
4. PROVIDE SOLID CORE DOORS THROUGHOUT THE HOME.
5. PROVIDE 5/8" TYPE "X" ONE-HOUR FIRE-RATED GYPSUM WALL BOARD IN ALL AREAS FOR WALLS AND CEILINGS.
6. PROVIDE FIRE RETARDANT COATING TREATMENT IN ALL CRAWLSPACES.

MIST RESIDENCE PERMIT SET

ABBREVIATIONS:

ABV	ABOVE	IBC	INTERNATIONAL BUILDING CODE
ACOUST	ACOUSTIC, ACOUSTICAL	INSUL	INSULATION
ACCY	ACCESSORY	INT	INTERIOR
ADDM	ADDENDUM	JB	JUNCTION BOX
ADDL	ADDITIONAL	JNT	JOINT
ADJ	ADJUSTABLE	LAV	LAVATORY
AFF	ABOVE FINISHED FLOOR	LTG	LIGHTING
AFG	ABOVE FINISHED GRADE	MATL	MATERIAL
ALT	ALTERNATE, ALTERNATIVE	MAX	MAXIMUM
ALUM	ALUMINUM	MDO	MEDIUM DENSITY OVERLAY
ANCH	ANCHOR	MDF	MEDIUM DENSITY FIBER BOARD
APPROX	APPROXIMATELY		
ARCH	ARCHITECT, ARCHITECTURAL		
BB	BASEBOARD	MECH	MECHANICAL
BLDG	BUILDING	MFR	MANUFACTURER
BLKG	BLOCKING	MIN	MINIMUM
BLW	BELOW	MO	MASONRY OPENING
BM	BEAM	MTL	METAL
B/O	BOTTOM OF		
BRD	BOARD	N	NORTH
BTW	BETWEEN	(N)	NEW
CAB	CABINET	NIC	NOT IN CONTRACT
CALC	CALCULATION	NTS	NOT TO SCALE
CL	CENTERLINE		
CJNT	CONTROL JOINT	OCCUP	OCCUPANTS, OCCUPANCY
CLG	CEILING	OL	OCCUPANCY LOAD
CLR	CLEAR	O/	OVER
CMU	CONCRETE MASONRY UNIT	OC	ON CENTER
CNTR	COUNTER, COUNTER SUNK	OPG	OPENING
COL	COLUMN	OPP	OPPOSITE
CONC	CONCRETE	ORD	OVERFLOW ROOF DRAIN
CONT	CONTINUOUS		
CORR	CORRIDOR	PNT	PAINT
CPT	CARPET	PEN	PENETRATION
CT	CERAMIC TILE	PERP	PERPENDICULAR
CTR	CENTER	PJ	PANEL JOINT
		PLAM	PLASTIC LAMINATE
DBL	DOUBLE	PLWD	PLYWOOD
DEG	DEGREE	PR	PAIR
DEPT	DEPARTMENT	PRELIM	PRELIMINARY
DIA	DIAMETER	PT	PRESSURE TREATED
DIM	DIMENSION	PTN	PARTITION
DISP	DISPENSER		
DN	DOWN	R	RISER
DS	DOWN SPOUT	REC	RECOMMENDED
DW	DISHWASHER	REF	REFERENCE
DWG	DRAWING	REFR	REFRIGERATOR
		REINF	REINFORCED
E	EAST	REQD	REQUIRED
EA	EACH	RET	RETAINING
EL	ELEVATION	R O	ROUGH OPENING
ELEV	ELEVATOR		
ENGR	ENGINEER	S	SOUTH
EQ	EQUAL	SC	SOLID CORE
EQUIP	EQUIPMENT	SCHED	SCHEDULE
EQUIV	EQUIVALENT	SCWD	SOLID CORE WOOD
EXP	EXPANSION, EXPOSED	SF	SQUARE FEET, SQUARE FOOT
(E), EXST	EXISTING		
EXT	EXTERIOR	SHTG	SHEATHING
FAB	FABRICATE	SIM	SIMILAR
FD	FLOOR DRAIN	SPEC	SPECIFICATION
FDN	FOUNDATION	SQ	SQUARE
FE	FIRE EXTINGUISHER	SS	STAINLESS STEEL
FEC	FIRE EXTINGUISHER CABINET	STD	STANDARD
FF	FINISH FLOOR	STL	STEEL
FIN	FINISH	STOR	STORAGE
FLR	FLOOR	STRUCT	STRUCTURAL
FT	FEET, FOOT		
FTG	FOOTING	T	TEMPERED SAFETY GLASS
FUR	FURRING, FURRED	T&B	TOP AND BOTTOM
FV	FIELD VERIFY	TEMP	TEMPORARY
		T&G	TONGUE AND GROOVE
GA	GAUGE	THRU	THROUGH
GALV	GALVANIZED	T/O	TOP OF
GC	GENERAL CONTRACTOR	TOM	TOP OF MASONRY
GL	GLASS, GLAZING	TOS	TOP OF STEEL
GRT	GROUT	TOSL	TOP OF SLAB
GWB	GYPSON WALL BOARD	TOW	TOP OF WALL
		TYP	TYPICAL
HB	HOSE BIB	UNO	UNLESS NOTED OTHERWISE
HD	HEAD	VERT	VERTICAL
HDWD	HARDWOOD	VTO	VENT TO OUTSIDE
HDR	HEADER	VTR	VENT THROUGH ROOF
HM	HOLLOW METAL		
HORIZ	HORIZONTAL	W	WEST
HR	HOUR	W/	WITH
HT	HEIGHT	W/O	WITHOUT
		WIND	WINDOW
		WD	WOOD
		W/R	WATER RESISTANT
		WWF	WELDED WIRE FABRIC

GENERAL PLAN NOTES:

- 1) REFER TO A5 SHEETS FOR WALL, FLOOR AND ROOF ASSEMBLY TYPES
- 2) ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF CONCRETE UNLESS OTHERWISE NOTED
- 3) INTERIOR DOORS TO BE INSTALLED 4-1/2" FROM FACE OF STUD TO EDGE OF ROUGH OPENING IF NOT DIMENSIONED
- 4) ALL WINDOW DIMENSIONS ARE TO ROUGH OPENING
- 5) REFER TO STRUCTURAL DOCUMENTS FOR ALL CONCRETE & FRAMING INFORMATION

GENERAL CONSTRUCTION NOTES:

- 1) THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE CONTRACT DOCUMENTS WITH EACH OTHER AND WITH INFORMATION FURNISHED BY THE OWNER AND SHALL AT ONCE REPORT TO THE ARCHITECT ERRORS, INCONSISTENCIES OR OMISSIONS DISCOVERED. IF THE CONTRACTOR PERFORMS ANY CONSTRUCTION ACTIVITY KNOWING IT INVOLVES A RECOGNIZED ERROR, INCONSISTENCY OR OMISSION IN THE CONTRACT DOCUMENTS WITHOUT SUCH NOTICE TO THE ARCHITECT, THE CONTRACTOR SHALL ASSUME APPROPRIATE RESPONSIBILITY FOR SUCH PERFORMANCE AND SHALL BEAR AN APPROPRIATE AMOUNT OF THE ATTRIBUTABLE COSTS FOR CORRECTION.
- 2) BEFORE ORDERING MATERIALS OR DOING ANY WORK, THE GENERAL CONTRACTOR AND ALL OF THE SUB-CONTRACTORS SHALL VERIFY ALL MEASUREMENTS ON THE DRAWINGS AND AT THE CONSTRUCTION SITE, AND SHALL BE RESPONSIBLE FOR THEIR CORRECTNESS. NO EXTRA COMPENSATION WILL BE ALLOWED ON ACCOUNT OF DIFFERENCES BETWEEN ACTUAL DIMENSIONS AND THOSE INDICATED ON THE DRAWINGS. ANY DISCOVERED DIFFERENCES SHALL BE REPORTED TO THE ARCHITECTS FOR DESIGN CONSIDERATIONS **BEFORE** PROCEEDING FURTHER WITH THE WORK. THE CONTRACTOR IS HEREBY ADVISED THAT THE DRAWINGS ARE NOT TO SCALE.
- 3) WORK SHALL CONFORM TO APPLICABLE CODES AND REGULATIONS OF AGENCIES HAVING JURISDICTION.
- 4) CONTRACTOR SHALL KEEP ALL AREAS UNDER CONSTRUCTION CLEAR OF DIRT AND DEBRIS.
- 5) CONTRACTOR SHALL REPAIR DAMAGED SURFACES WHICH WERE DAMAGED BY CONSTRUCTION OR CLEAN-UP, AND CORRECT CONDITIONS TO MATCH SURROUNDING FINISHED CONDITIONS.
- 6) REPETITIVE FEATURES NOT NOTED ON THE DRAWINGS SHALL BE COMPLETELY PROVIDED AS DRAWN IN FULL.
- 7) DIMENSIONS ON DRAWINGS ARE TAKEN TO THE FACE OF CONCRETE AND TO THE FACE OF STUD, UNLESS OTHERWISE NOTED. FIELD VERIFY ALL DIMENSIONS.
- 8) FIELD VERIFY MILLWORK DIMENSIONS AND ALL WINDOW AND DOOR DIMENSIONS.
- 9) PROTECT ALL PORTIONS OF THE EXISTING BUILDING OR SITE NOT SCHEDULED TO BE REMOVED, IF APPLICABLE, AND REPLACE OR REPAIR ALL SUCH ITEMS DAMAGED DURING CONSTRUCTION. PROVIDE PROTECTION AGAINST INCLEMENT WEATHER, WIND, FROST, EXCESSIVE HEAT, VANDALISM, AND ALL WORKERS, DELIVERY PERSONNEL, SUB-CONTRACTORS AND BUILDING INSPECTORS SO AS TO MAINTAIN ALL WORK, MATERIAL, APPARATUS AND FIXTURES FREE FROM DAMAGE, INCLUDING SURFACE SCRATCHES AND BLEMISHES. ALL NEW AND EXISTING WORK LIKELY TO BE DAMAGED SHALL BE APPROPRIATELY COVERED OR PROTECTED AT ALL TIMES. PROTECT ALL PLANTING AREAS FROM FOOT OR WHEEL TRAFFIC, AND AVOID CRUSHING SAME DUE TO STORED MATERIAL S.

SYMBOLS:

	WINDOW TYPE
	EXTERIOR DOOR TYPE
	DOOR TYPE
	ASSEMBLY TYPE
	SECTION CALL OUT
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	100 CFM FAN
	DOWNSPOUT
	FLOOR DRAIN
	HOSE BIB

PROJECT:
WESTVIEW RESIDENCE
4045 W MERCER WAY
MERCER ISLAND WA 98040

CLIENT:
MIST LLC

ISSUE:
PERMIT SUBMISSION 02.25.2022
PERMIT REVISIONS 08.12.2022
PERMIT REVISIONS 07.21.2023

DATE:
FEBRUARY 25, 2022

SHEET TITLE:
GENERAL CONDITIONS &
ABBREVIATIONS

SHEET:

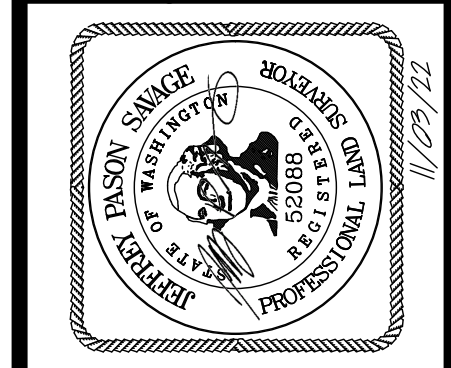
GO.1

TOPOGRAPHIC & BOUNDARY SURVEY

measure success

TOPOGRAPHIC & BOUNDARY SURVEY
PARCEL NO. 3623500395

MIST PROPERTY
4045 W MERCER WAY
MERCER ISLAND, WA 98040



Terrane
10801 Main Street, Suite 102, Bellevue, WA 98004
phone 425.458.4488 support@terrane.net
www.terrane.net

JOB NUMBER:	202326
DATE:	02/12/21
DRAFTED BY:	IDV-GKD
CHECKED BY:	JGM/JPS
SCALE:	1" = 10'
REVISION HISTORY	
9/29/21	TITLE REPORT
01/28/22	ADDED WATER LINE
06/30/22	REV'D CALLOUTS
9/29/22	ADD'L TOPO (PG 3)
11/3/22	ADD'L TOPO (PG 4)
SHEET NUMBER	
1 OF 4	

LEGAL DESCRIPTION

(REFERENCE SHEET 2 OF 4)

BASIS OF BEARINGS

N 88°33'03" W BETWEEN FOUND MONUMENTATION ALONG SE 40TH ST - NAD83(11) PER GPS OBSERVATIONS

REFERENCES

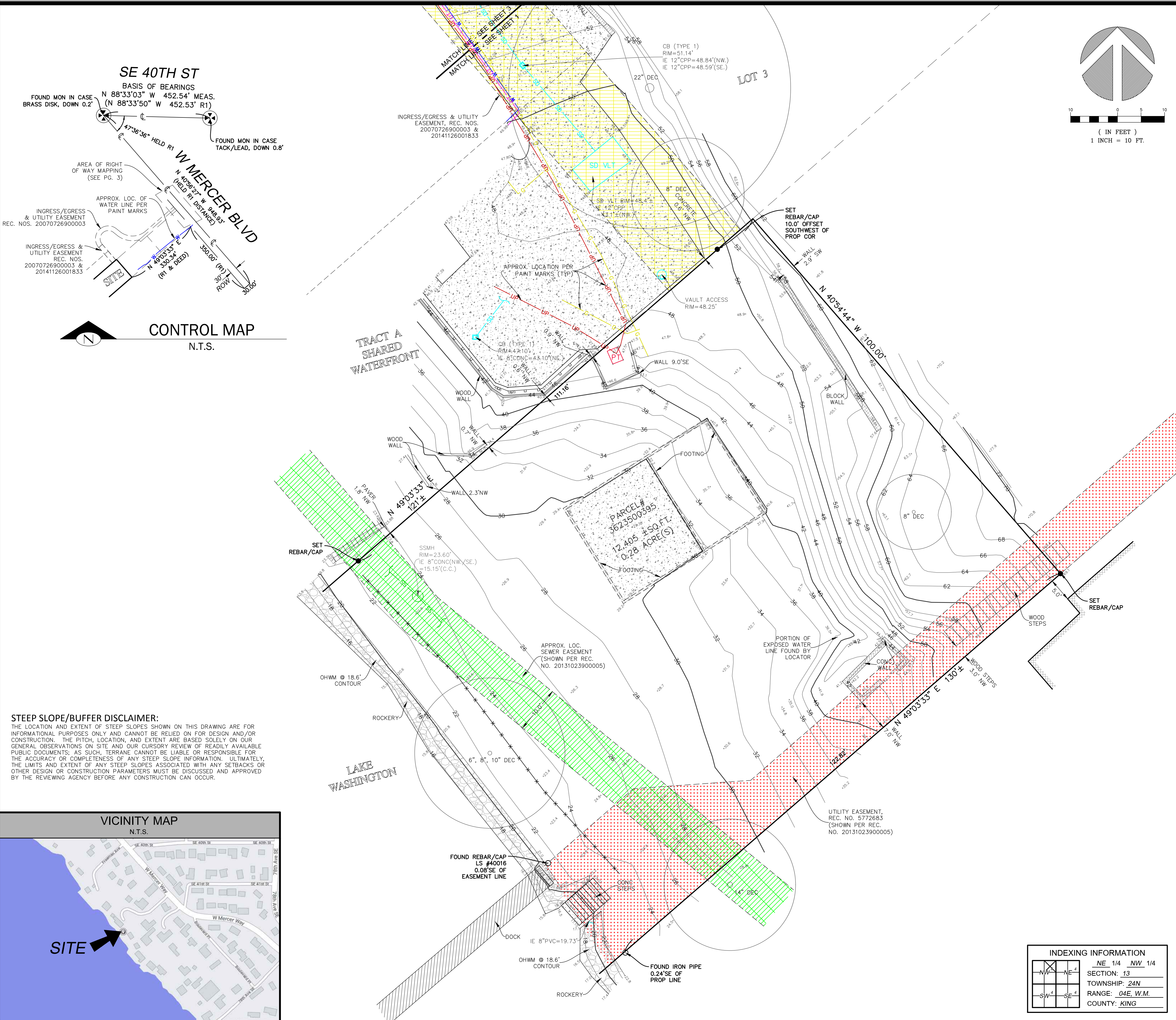
R1. RECORD OF SURVEY, VOL. 303, PG. 53, RECORDS OF KING COUNTY, WASHINGTON.

VERTICAL DATUM

NAVD88 PER GPS OBSERVATIONS

SURVEYOR'S NOTES

1. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN FEBRUARY OF 2021 AND SEPTEMBER OF 2022. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
2. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
3. THE TYPES AND LOCATIONS OF ANY UTILITIES SHOWN ON THIS DRAWING ARE BASED ON INFORMATION PROVIDED TO US, BY OTHERS OR GENERAL INFORMATION READILY AVAILABLE IN THE PUBLIC DOMAIN INCLUDING, AS APPLICABLE, IDENTIFYING MARKINGS PLACED BY UTILITY LOCATE SERVICES AND OBSERVED BY TERRANE IN THE FIELD. AS SUCH, THE UTILITY INFORMATION SHOWN ON THESE DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY AND SHOULD NOT BE RELIED ON FOR DESIGN OR CONSTRUCTION PURPOSES; TERRANE IS NOT RESPONSIBLE OR LIABLE FOR THE ACCURACY OR COMPLETENESS OF THIS UTILITY INFORMATION. FOR THE ACCURATE LOCATION AND TYPE OF UTILITIES NECESSARY FOR DESIGN AND CONSTRUCTION, PLEASE CONTACT THE SITE OWNER AND THE LOCAL UTILITY LOCATE SERVICE (800-424-5555).
4. SUBJECT PROPERTY TAX PARCEL NO. 362350-0395.
5. SUBJECT PROPERTY AREA PER THIS SURVEY IS 12,405 ± S.F. (0.28 ACRES)
6. ALL TITLE INFORMATION SHOWN ON THIS MAP HAS BEEN EXTRACTED FROM FIDELITY NATIONAL TITLE COMPANY'S COMMITMENT NO. 611265349, DATED DECEMBER 10, 2020. IN PREPARING THIS MAP, TERRANE, INC. HAS CONDUCTED NO INDEPENDENT TITLE SEARCH NOR IS TERRANE, INC. AWARE OF ANY TITLE ISSUES AFFECTING THE SURVEYED PROPERTY OTHER THAN THOSE SHOWN ON THE MAP AND DISCLOSED BY THE REFERENCED "COMMITMENT". TERRANE, INC. HAS RELIED WHOLLY ON FIDELITY NATIONAL TITLE INSURANCE COMPANY'S REPRESENTATIONS OF THE TITLE'S CONDITION TO PREPARE THIS SURVEY AND TERRANE, INC. QUALIFIES THE MAP'S ACCURACY AND COMPLETENESS TO THAT EXTENT.
7. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 5-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090.



STEEP SLOPE/BUFFER DISCLAIMER:
THE LOCATION AND EXTENT OF STEEP SLOPES SHOWN ON THIS DRAWING ARE FOR INFORMATIONAL PURPOSES ONLY AND CANNOT BE RELIED ON FOR DESIGN AND/OR CONSTRUCTION. THE PITCH, LOCATION, AND EXTENT ARE BASED SOLELY ON OUR GENERAL OBSERVATIONS ON SITE AND OUR CURSORY REVIEW OF READILY AVAILABLE PUBLIC DOCUMENTS; AS SUCH, TERRANE CANNOT BE LIABLE OR RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY STEEP SLOPE INFORMATION. ULTIMATELY, THE LIMITS AND EXTENT OF ANY STEEP SLOPES ASSOCIATED WITH ANY SETBACKS OR OTHER DESIGN OR CONSTRUCTION PARAMETERS MUST BE DISCUSSED AND APPROVED BY THE REVIEWING AGENCY BEFORE ANY CONSTRUCTION CAN OCCUR.

VICINITY MAP

N.T.S.



LEGEND

	BUILDING		MONUMENT IN CASE (FOUND)
	CENTERLINE ROW		PAVER SURFACE
	CULVERT PIPE		POWER (UNDERGROUND)
	CONCRETE SURFACE		POWER TRANSFORMER
	RETAINING WALL		WATER LINE
	ACCESS EASEMENT		ROCKERY
	SEWER EASEMENT		SEWER LINE
	UTILITY EASEMENT		SEWER MANHOLE
	DECK		STORM MANHOLE
	FENCE LINE (CHAIN LINK)		STORM DRAIN LINE
	GUARD RAIL		STORM DRAIN VAULT
	GAS LINE		INLET (TYPE 1)
	TREE (AS NOTED)		REBAR/IRON PIPE AS NOTED (FOUND)
	REBAR/IRON PIPE AS NOTED (FOUND)		REBAR & CAP (SET)

INDEXING INFORMATION	
NE 1/4 NW 1/4	SECTION: 13
SW 1/4 SE 1/4	TOWNSHIP: 24N
	RANGE: 04E, W.M.
	COUNTY: KING

LEGAL DESCRIPTION

PARCEL I:
 THAT PORTION OF THE SOUTHEASTERLY HALF OF LOT 5 AND THE NORTHWESTERLY HALF OF LOT 6, BLOCK C, REPLAT OF ISLAND PARK, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 13 OF PLATS, PAGE 58, RECORDS OF KING COUNTY, WASHINGTON, AND SECOND CLASS SHORELANDS ADJOINING, DESCRIBED AS FOLLOWS:

COMMENCING AT THE MOST EASTERLY CORNER OF SAID NORTHWEST HALF OF LOT 6; THENCE SOUTH 49°02'46" WEST, ALONG THE SOUTHEASTERLY LINE THEREOF, 330.34 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 49°02'46" WEST, 126 FEET, MORE OR LESS, TO THE OUTER LIMITS OF THE SHORELANDS OF LAKE WASHINGTON; THENCE NORTHWESTERLY, ALONG SAID OUTER LIMITS, TO A POINT ON THE SOUTHWESTERLY EXTENSION OF THE NORTHWESTERLY LINE OF SAID SOUTHEASTERLY HALF OF LOT 5; THENCE NORTH 49°02'46" EAST, ALONG SAID NORTHWESTERLY LINE, 121 FEET, MORE OR LESS, TO A POINT WHICH BEARS NORTH 40°55'31" WEST FROM THE POINT OF BEGINNING; THENCE SOUTH 40°55'31" EAST, 100.00 FEET TO THE POINT OF BEGINNING;

TOGETHER WITH AN UNDIVIDED INTEREST IN THE NORTHWESTERLY 10 FEET OF THE NORTHEASTERLY 203 FEET OF SAID SOUTHEASTERLY HALF OF LOT 5.

(AS DELINEATED AS MI CABANA LLC PARCEL C, BOUNDARY SURVEY FOR KING COUNTY SUPERIOR COURT CASE NO. 10-2-45130-7 RECORDED IN VOLUME 288 OF SURVEYS, PAGES 211 AND 212 UNDER RECORDING NO. 20120613900001 AND CORRECTED BY SURVEY RECORDED IN VOLUME 303 OF SURVEYS, PAGES 53 AND 54 UNDER RECORDING NO. 20131023900005, RECORDS OF KING COUNTY, WASHINGTON.)

PARCEL II:
 A NON-EXCLUSIVE EASEMENT FOR ACCESS DRIVEWAY CREATED IN THAT CERTAIN MASTER EASEMENT AND COST-SHARING AGREEMENT RECORDED UNDER RECORDING NO. 20141126001833, RECORDS OF KING COUNTY, WASHINGTON.

SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

TOPOGRAPHIC & BOUNDARY SURVEY

SCHEDULE B ITEMS

- EASEMENTS FOR THE PURPOSES SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:
 GRANTED TO: PUGET SOUND POWER & LIGHT COMPANY
 PURPOSES: ELECTRIC TRANSMISSION AND/OR DISTRIBUTION LINE
 RECORDING DATE: MAY 26, 1953
 RECORDING NO.: 4351718
 AFFECTS: PORTION OF SAID LAND
"AS CONSTRUCTED - AFFECTS SE 1/2 OF LOT"
- EASEMENTS FOR THE PURPOSES SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:
 GRANTED TO: MERCER ISLAND SEWER DISTRICT
 PURPOSES: SEWER PIPE LINE(S) AND APPURTENANCES
 RECORDING DATE: MAY 6, 1959
 RECORDING NO.: 5028740
 AFFECTS: THE WESTERLY PORTION
"NOT PLOTTED - AS CONSTRUCTED"
- EASEMENTS FOR THE PURPOSES SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:
 PURPOSES: INGRESS AND EGRESS AND UTILITIES
 RECORDING DATE: JUNE 26, 1964
 RECORDING NO.: 5753801
 AFFECTS: THE SOUTHEASTERLY PORTION
 THE TERMS OF SAID EASEMENT HAVE BEEN MODIFIED BY JUDGMENT FILED IN KING COUNTY SUPERIOR COURT CASE NO. 96-2-31077-B.
 PARTIAL RELEASE AND TERMINATION OF INGRESS AND EGRESS AND UTILITIES EASEMENT RECORDED UNDER RECORDING NUMBER 20170526000619.
"EASEMENT TERMINATED IN 2017, HOWEVER ANY UTILITIES WITHIN THE SWLY 5' OF THE NE'LY 155' OF THE SE 1/2 OF PARCEL SHALL REMAIN VALID"
- EASEMENTS FOR THE PURPOSES SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:
 PURPOSES: UTILITIES
 RECORDING DATE: AUGUST 11, 1964
 RECORDING NO.: 5772683
 AFFECTS: THE SOUTHEASTERLY PORTION
"PLOTTED - PER REC. NO. 20131023900005"
- COVENANTS, CONDITIONS AND RESTRICTIONS BUT OMITTING ANY COVENANTS OR RESTRICTIONS AS SET FORTH IN THE STATUTORY WARRANTY DEED.
 RECORDING DATE: MAY 8, 1974
 RECORDING NO.: 7405080269
"NOT PLOTTED - ALLOWS FOR THE CONSTRUCTION OF A DOCK AND A GARAGE"
- TERMS AND CONDITIONS OF NOTICE OF ADDITIONAL TAP OR CONNECTION CHARGES, RECORDED UNDER RECORDING NUMBER 7712060812.
"BLANKET IN NATURE"
- RECIPROCAL EASEMENTS, FOR THE PURPOSES SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS CREATED BY THE FOLLOWING DOCUMENT:
 DOCUMENT: EASEMENT AGREEMENT
 EXECUTED BY: WILBERT C. ANDERSON AND SUZENNE H. ANDERSON; AND STAVE AND BECKY SHOWALTER
 PURPOSES: WALKWAYS; MAINTENANCE OF ROCKERY AND FENCE; AND RIGHT OF WAY TO TRIM TREES
 RECORDING DATE: APRIL 18, 1988
 RECORDING NO.: 8804180124
 AFFECTS: PORTIONS OF SAID LAND
 THE TERMS OF SAID EASEMENT HAVE BEEN MODIFIED BY JUDGMENT FILED IN KING COUNTY SUPERIOR COURT CASE NO. 96-2-31077-B.
"NOT PLOTTED - REFERS TO LOCATION OF A WALKWAY AND A ROCKERY, AS CONSTRUCTED"
- WALKWAY EASEMENT AND THE TERMS AND CONDITIONS THEREOF:
 RECORDING DATE: MARCH 23, 1989
 RECORDING NO.: 8903230062
"NOT PLOTTED - EASEMENT AFFECTS NE ADJOINING PARCEL"
- MATTERS CONTAINED IN THAT CERTAIN DRIVEWAY MAINTENANCE AGREEMENT WHICH DOCUMENT, AMONG OTHER THINGS, MAY PROVIDE FOR LIENS AND CHARGES.
 RECORDING DATE: DECEMBER 18, 1990
 RECORDING NO.: 9012180990
"BLANKET IN NATURE"
- TERMS AND CONDITIONS OF PROVISIONS CONTAINED IN JUDGMENT NUMBER 98-9-07729-3, FILED IN KING COUNTY SUPERIOR COURT CAUSE NUMBER 96-2-31077-B, REGARDING APPURTENANCE EASEMENTS AND RIGHTS THERETO.
 PEDESTRIAN EASEMENT TERMINATION RECORDED UNDER RECORDING NUMBER 20160802001219.
"NOT PLOTTED - TERMINATION OF PEDESTRIAN EASEMENT"
- COVENANTS, CONDITIONS, RESTRICTIONS, RECITALS, RESERVATIONS, EASEMENTS, EASEMENT PROVISIONS, DEDICATIONS, BUILDING SETBACK LINES, NOTES, STATEMENTS, AND OTHER MATTERS AS SET FORTH ON THE CITY OF MERCER ISLAND SHORT SUBDIVISION NO. SUB05-006:
 RECORDING NO: 20070726900003
"PLOTTED"

- ANY RIGHTS, INTERESTS, OR CLAIMS WHICH MAY EXIST OR ARISE BY REASON OF THE FOLLOWING MATTERS DISCLOSED BY SURVEY,
 RECORDING DATE: APRIL 14, 2010
 RECORDING NO.: 20100414900004
 PURPOSES: ELECTRIC TRANSMISSION AND/OR DISTRIBUTION LINE
 MATTERS SHOWN: LOCATION OF WOOD STAIRS IN THE SOUTHEASTERLY PORTION AND AN ENCROACHMENT OF WOOD RETAINING WALL ONTO THE NORTHWESTERLY ADJACENT PROPERTY.
"CURRENT CONDITIONS SHOWN"
- COVENANTS, CONDITIONS, RESTRICTIONS, RECITALS, RESERVATIONS, EASEMENTS, EASEMENT PROVISIONS, DEDICATIONS, BUILDING SETBACK LINES, NOTES, STATEMENTS, STIPULATIONS AND OTHER MATTERS AS SET FORTH IN THE JUDGMENT QUIETING TITLE AND ORDER DISMISSING REMAINING CLAIMS FOR KING COUNTY COURT CASE NO. 10-2-45130-7:
 RECORDING NO: 20120702000622

NOTE: THE COMPANY QUESTIONS THE VALIDITY OF AN UNDIVIDED ONE-THIRD INTEREST IN THE NORTHWESTERLY 10 FEET OF THE NORTHEASTERLY 203 FEET OF SAID SOUTHEASTERLY ONE-HALF OF LOT 5 STATED THEREIN BASED ON THE CONVEYANCE OF ONE HALF INTEREST OF SAID TRACT BY THAT CERTAIN WARRANTY DEED RECORDED UNDER RECORDING NO. 20050513002477.
 BOUNDARY LINE SURVEY THERETO,
 RECORDING DATE: JUNE 13, 2012
 RECORDING NO.: 20120613900001

AMENDMENT OF SAID SURVEY,
 RECORDING DATE: OCTOBER 23, 2013
 RECORDING NO.: 20131023900005
"CURRENT CONDITIONS SHOWN (R1)"

14. INDEMNIFICATION AND HOLD HARMLESS AGREEMENT AND THE TERMS AND CONDITIONS THEREOF:
 RECORDING DATE: SEPTEMBER 18, 2013
 RECORDING NO.: 20130918001578
"BLANKET IN NATURE"

15. MASTER EASEMENT AND COST-SHARING AGREEMENT AND THE TERMS AND CONDITIONS THEREOF:
 BY AND BETWEEN: HUNSAKER PARKSIDE, LLC, A WASHINGTON LIMITED LIABILITY COMPANY; BRET W. CHATALAS AND ANGELA R. CHATALAS, HUSBAND AND WIFE; AND RAMI KARJIAN AND SUSAN KARJIAN, HUSBAND AND WIFE; MI CABANA, LLC, A WASHINGTON LIMITED LIABILITY COMPANY; AND HUNSAKER PARKSIDE, LLC, A WASHINGTON LIMITED LIABILITY COMPANY
 RECORDING DATE: NOVEMBER 26, 2014
 RECORDING NO.: 20141126001833

AMONG OTHER THINGS, SAID INSTRUMENT STATES AS FOLLOWS:
 RESCISSION, TERMINATION, EXTINGUISHMENT AND INTENT TO SUPERSEDE PRIOR RECORDINGS, UPON RECORDING, THIS AGREEMENT SHALL RESCIND, TERMINATED, EXTINGUISH, REPLACE AND SUPERSEDE IN WHOLE ALL RIGHTS, DUTIES, OBLIGATIONS, TERMS AND CONDITIONS SET FORTH AND CONVEYED IN THAT CERTAIN FEBRUARY 11, 2005 DRIVEWAY CONSTRUCTION AGREEMENT REFERENCED IN THE RECORDED FEBRUARY 22, 2005 MEMORANDUM OF AGREEMENT, KING COUNTY RECORDING NUMBER 20050222000834 ("2005 DCA") AND ALL RIGHTS, DUTIES, OBLIGATIONS, TERMS AND CONDITIONS SET FORTH AND CONVEYED IN THAT CERTAIN RECIPROCAL EASEMENT AGREEMENT, KING COUNTY RECORDING NUMBER 20080331002408 ("2008 EASEMENT"). THE 2005 DCA AND THE 2008 EASEMENT ARE HEREBY AND FOREVER RESCINDED, TERMINATED, EXTINGUISHED, REPLACED AND SUPERSEDED BY THIS AGREEMENT. UPON RECORDING, THE RIGHTS, DUTIES, OBLIGATIONS, TERMS AND CONDITIONS SET FORTH AND CONVEYED HEREIN SHALL GOVERN AND CONTROL THE REPAIR, MAINTENANCE AND USE OF THE EASEMENT AREA, THE ACCESS DRIVEWAY AND THE SHARED WATERFRONT TRACT.
"BLANKET IN NATURE"

16. ARMY CORPS OF ENGINEERS PERMIT AND THE TERMS AND CONDITIONS THEREOF:
 RECORDING DATE: AUGUST 14, 2015
 RECORDING NO.: 20150814001062
"BLANKET IN NATURE"

measure success

TOPOGRAPHIC & BOUNDARY SURVEY

PARCEL NO. 3623500395
 MIST PROPERTY

4045 W MERCER WAY
 MERCER ISLAND, WA 98040



Terrane
 10801 Main Street, Suite 102, Bellevue, WA 98004
 phone 425.458.4488 support@terrane.net
 www.terrane.net

JOB NUMBER: 202326
 DATE: 02/12/21
 DRAFTED BY: TLR
 CHECKED BY: JGM/JPS
 SCALE: N.T.S.

REVISION HISTORY	
9/29/21	TITLE REPORT
01/28/22	ADDED WATER LINE
08/30/22	REV'D CALLOUT
9/29/22	ADD'L TOPO (PG 3)
11/3/22	ADD'L TOPO (PG 4)

SHEET NUMBER
 2 OF 4

INDEXING INFORMATION	
NE 1/4	NW 1/4
SECTION: 13	TOWNSHIP: 24N
RANGE: 04E, W.M.	COUNTY: KING

LEGAL DESCRIPTION

(REFERENCE SHEET 2 OF 4)

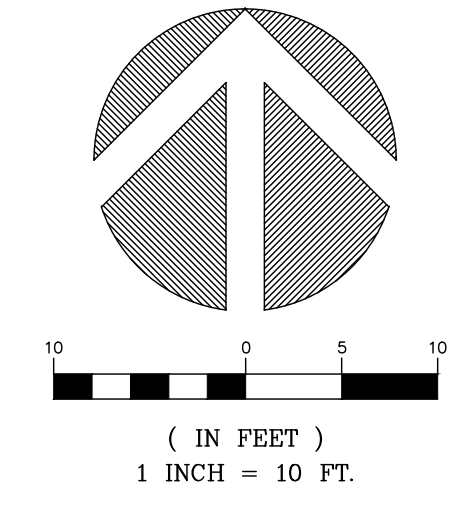
TOPOGRAPHIC & BOUNDARY SURVEY

LEGEND

- ASPHALT SURFACE
- CENTERLINE ROW
- FENCE LINE (WOOD)
- FIRE HYDRANT
- GAS LINE
- GAS VALVE
- HEDGE FOLIAGE LINE
- MAILBOX (RESIDENTIAL)
- POWER (UNDERGROUND)
- POWER POLE
- PROPERTY LINE (SUBJECT)
- PROPERTY LINES (ADJACENT)
- RIGHT-OF-WAY LINES
- SEWER LINE
- SEWER MANHOLE
- SIGN (AS NOTED)
- TREE (AS NOTED)
- TELEPHONE UNDERGROUND
- WATER LINE
- WATER METER
- WATER VALVE
- STORM DRAIN LINE
- STORM INLET
- ACCESS EASEMENT
- ACCESS & UTILITY EASEMENT
- UTILITY EASEMENT

INDEXING INFORMATION

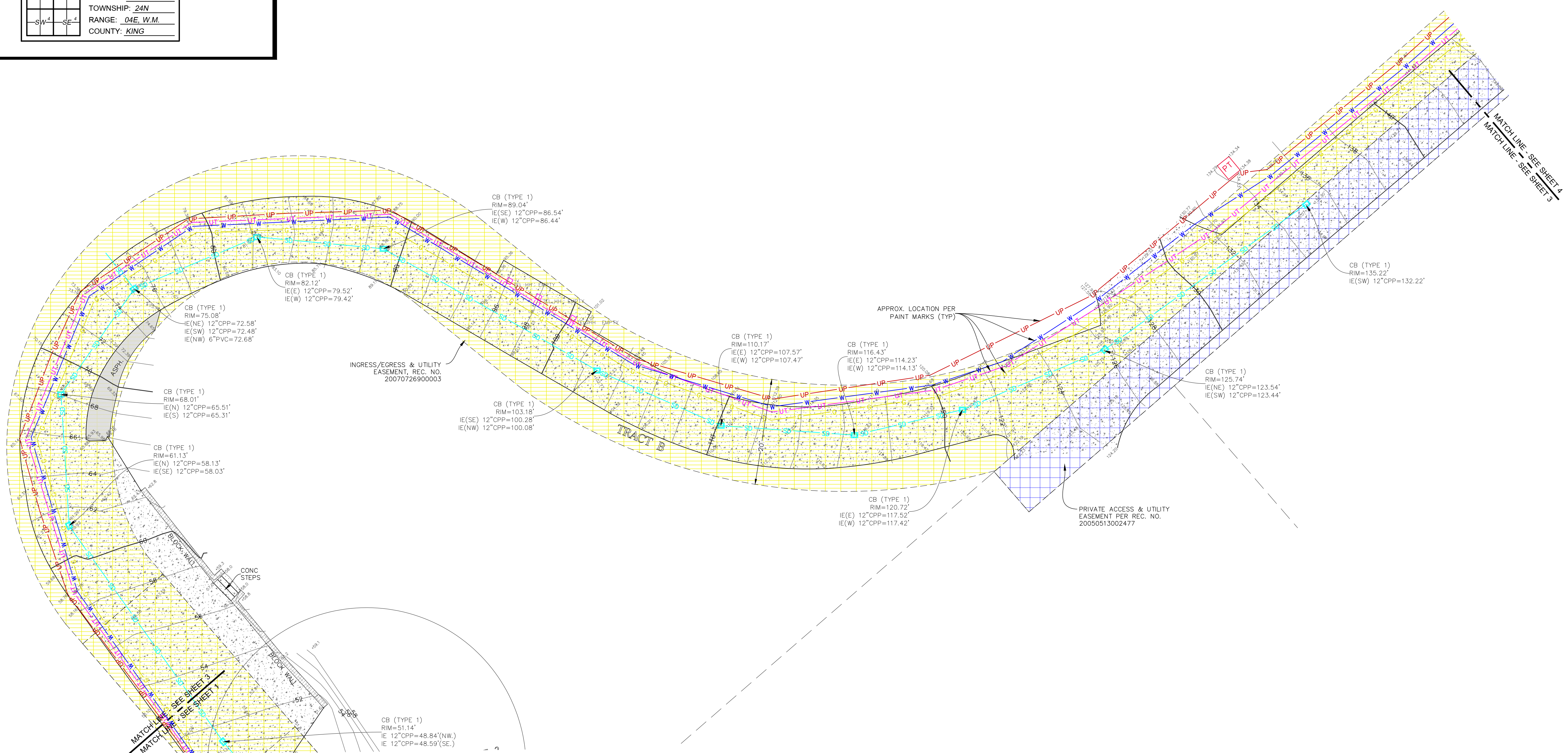
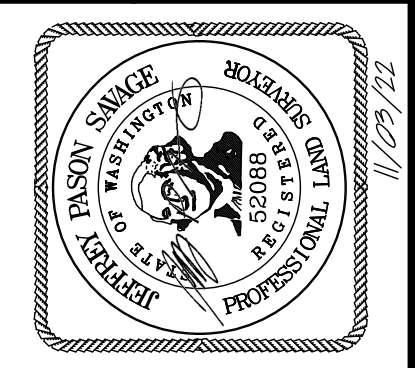
NE 1/4 NW 1/4	
SECTION: 13	
TOWNSHIP: 24N	
RANGE: 04E W.M.	
COUNTY: KING	



TOPOGRAPHIC & BOUNDARY SURVEY
PARCEL NO. 3623500395

MIST PROPERTY

4045 W MERCER WAY
MERCER ISLAND, WA 98040



Terrane
10801 Main Street, Suite 102, Bellevue, WA 98004
phone 425.458.4488 support@terrane.net
www.terrane.net

JOB NUMBER:	202326
DATE:	11/3/22
DRAFTED BY:	TLR
CHECKED BY:	JGM/JPS/JAW
SCALE:	1"=10'
REVISION HISTORY	
9/29/21	TITLE REPORT
01/28/22	ADDED WATER LINE
06/30/22	REV'D CALLOUT
9/29/22	ADD'L TOPO (PG 3)
11/3/22	ADD'L TOPO (PG 4)
SHEET NUMBER	
3 OF 4	

LEGAL DESCRIPTION

(REFERENCE SHEET 2 OF 4)

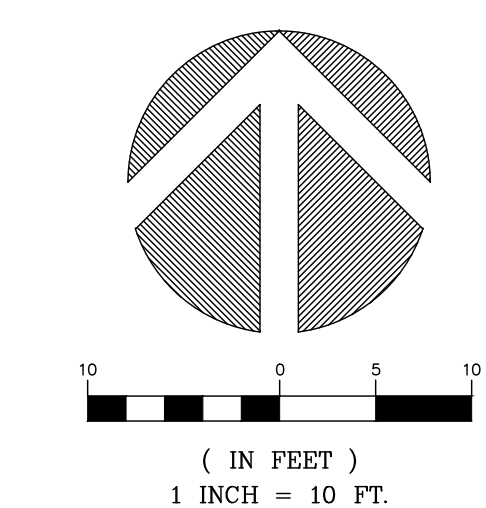
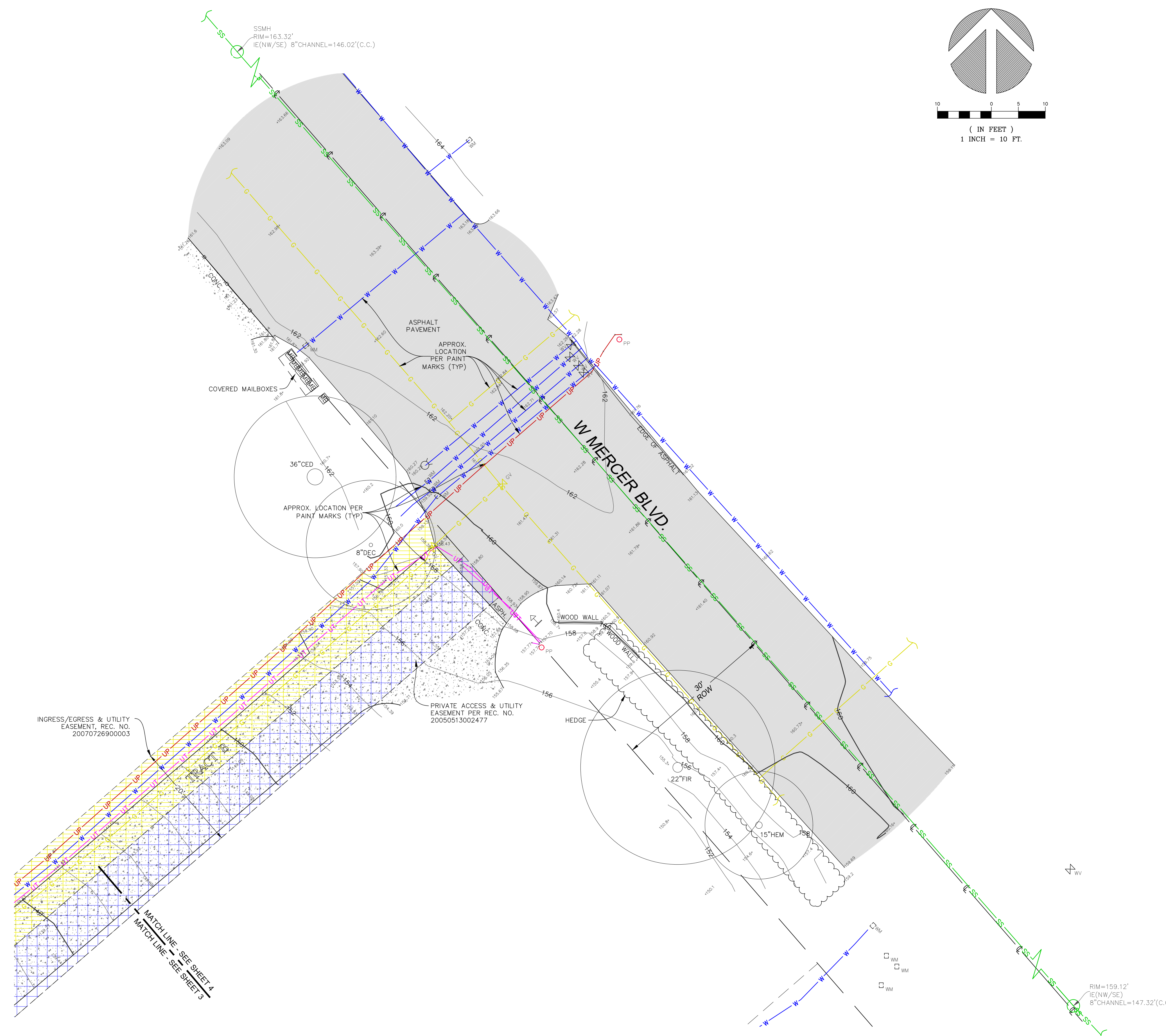
TOPOGRAPHIC & BOUNDARY SURVEY

LEGEND

- ASPHALT SURFACE
- CENTERLINE ROW
- FENCE LINE (WOOD)
- FIRE HYDRANT
- GAS LINE
- GAS VALVE
- HEDGE FOLIAGE LINE
- MAILBOX (RESIDENTIAL)
- POWER (UNDERGROUND)
- POWER POLE
- PROPERTY LINE (SUBJECT)
- PROPERTY LINES (ADJACENT)
- RIGHT-OF-WAY LINES
- SEWER LINE
- SEWER MANHOLE
- SIGN (AS NOTED)
- TREE (AS NOTED)
- TELEPHONE UNDERGROUND
- WATER LINE
- WATER METER
- WATER VALVE
- STORM DRAIN LINE
- STORM INLET
- ACCESS EASEMENT
- ACCESS & UTILITY EASEMENT
- UTILITY EASEMENT

INDEXING INFORMATION

NE 1/4 NW 1/4	
SECTION: 13	TOWNSHIP: 24N
RANGE: 04E W.M.	COUNTY: KING

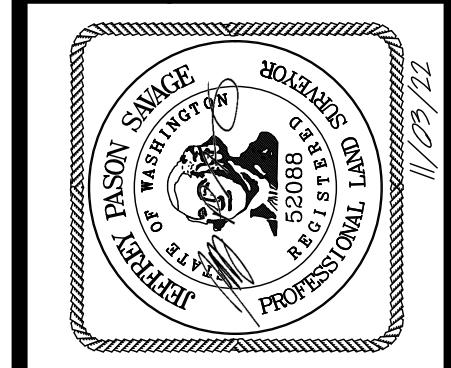


TOPOGRAPHIC & BOUNDARY SURVEY

PARCEL NO. 3623500395

MIST PROPERTY

4045 W MERCER WAY
MERCER ISLAND, WA 98040



Terrane
 10801 Main Street, Suite 102, Bellevue, WA 98004
 phone 425.458.4488 support@terrane.net
www.terrane.net

JOB NUMBER:	202326
DATE:	11/03/22
DRAFTED BY:	TLR
CHECKED BY:	JGM/JPS/JAW
SCALE:	1"=10'
REVISION HISTORY	
9/29/21	TITLE REPORT
01/28/22	ADDED WATER LINE
06/30/22	REV'D CALLOUT
9/29/22	ADD'L TOPO (PG 3)
11/3/22	ADD'L TOPO (PG 4)
SHEET NUMBER	
4 OF 4	

KEY NOTES:

KEY	NOTE:	DETAIL/SHEET
SDI	INSTALL TEMPORARY INLET PROTECTION ON EX SD INLET OR CLOSEST SD INLET DOWNSTREAM OF SITE	D/C09
CE	INSTALL TEMPORARY STABILIZED CONSTRUCTION ENTRANCE. CONTRACTOR TO DETERMINE FINAL LOCATION IN FIELD	A/C09
PP	INSTALL APPROX 240 LF PERIMETER PROTECTION* SEE KEYNOTE 11 FOR ADDITIONAL INFORMATION	B/C01 B/C09
VEF	TREE PROTECTION FENCING	A/C01
SP	PROPOSED STOCKPILE LOCATION. CONTRACTOR TO DETERMINE FINAL LOCATION IN FIELD	-
SW	CONTRACTOR TO SWEEP ROAD DAILY OR MORE OFTEN IF NECESSARY TO REMOVE TRACKED SEDIMENT	-
RE	ALL EX ONSITE HARD SURFACES (INCLUDING STAIRS/FENCE/WALLS) TO BE REMOVED UNLESS OTHERWISE NOTED	-
SA	SOIL AMENDMENT (TYP)	F/C09
1	TREE TO REMAIN	-
2	CONTRACTOR TO PROTECT EX STORM INFRASTRUCTURE (TYP)	-
3	CUT AND CAP EX GAS SERVICE AT PROPERTY LINE FOR REUSE. COORDINATE WITH UTILITY OWNER (BY OTHERS)	-
4	POWER TRANSFORMER VAULT TO BE RELOCATED. COORDINATE WITH UTILITY OWNER (BY OTHERS)	-
5	WALL TO BE REMOVED	-
6	EX ROCKERY BULKHEAD AND STAIRS TO REMAIN	-
7	LOCATION OF EX SSS CONNECTION TO SEWER MAIN IS SHOWN APPROXIMATELY PER CITY GIS INFORMATION. CONTRACTOR TO LOCATE FOR REUSE. PROJECT IS TO REUSE EXISTING STUB IF IN ADEQUATE CONDITION. SEE GENERAL NOTE 2 THIS SHEET	J/C10
8	INTERCEPTOR SWALE PER DOE BMP C200. INSTALLATION REQUIRED FOR WET WEATHER WORK ONLY TOP WIDTH: 2' MIN HEIGHT: 1.5' MIN SIDE SLOPE: 2H:1V BOTTOM ELEV (HIGH ELEV END) 26.50± APPROX BOTTOM ELEV (LOW ELEV END AT SEDIMENT TRAP) 26.00±	-
9	120 SF (MIN SURFACE AREA) SEDIMENT TRAP WITH OUTLET TO LAKE. INSTALLATION REQUIRED FOR WET WEATHER WORK ONLY BOTTOM ELEV: 24.50± OVERFLOW ELEV 27.00± TOP ELEV 28.00± (CONSTRUCT W/ BERM (I.E. SANDBAGS) AS NEEDED)	C/C09
10	MINIMAL CONSTRUCTION DISTURBANCE TO OCCUR WITHIN THIS AREA. REMOVE WOOD STEPS BY HAND	-
11	CONSTRUCT WIRE-BACKED SILT FENCE BEDDED IN COMPOST, NOT NATIVE SOIL OR SAND, AS CLOSE AS POSSIBLE TO THE PLANNED WORK AREA. EXISTING VEGETATION BETWEEN FENCE AND LAKE SHORE TO BE LEFT IN PLACE TO MAXIMUM EXTENT FEASIBLE DURING CONSTRUCTION	-

PROJECT INFORMATION:

ADDRESS:
4045 W MERCER WAY
MERCER ISLAND, WA 98040
"WESTVIEW RESIDENCE"

OWNER/APPLICANT:
MIST LLC
7683 SE 27TH ST, UNIT #418
MERCER ISLAND, WA 98040
CONTACT: FERAS ALROUK

ARCHITECT:
MCCLELLAN ARCHITECTS
3309 WALLINGFORD AVE N
SEATTLE, WA 98103
PH: (206) 728.0480
CONTACT: JOEY PASQUINELLI

CIVIL ENGINEER:
DAVIDO CONSULTING GROUP, INC.
9706 4TH AVE NE, SUITE 300
SEATTLE, WA 98115
PH: (206) 523.0024
CONTACT: BEN IDDINS, P.E.

SURVEYOR:
TERRANE
10801 MAIN STREET, SUITE 102,
BELLEVUE, WA 98004
PH: (425) 458.4488

GEOTECHNICAL ENGINEER:
GEOTECH CONSULTANTS, INC.
2401 10TH AVE E
SEATTLE, WA 98102
PH: (435) 747.5618
CONTACT: ADAM MOYER

GENERAL NOTES:

- PER GEOTECHNICAL REPORT, "IF WET WEATHER CONSTRUCTION IS ANTICIPATED, TWO PARALLEL SILT FENCES SHOULD BE INSTALLED ALONG THE SHORELINE."
- CCTV INSPECTION OF THE EXISTING SIDE SEWER TO THE SEWER MAIN IS REQUIRED PRIOR TO ANY WORK RELATED TO THE SIDE SEWER. IF THE RESULT OF THE CCTV SHOWS THE SIDE SEWER TO BE IN UNSATISFACTORY CONDITION (AS DETERMINED BY THE CITY OF MERCER ISLAND INSPECTOR), REPLACEMENT OF EXISTING SIDE SEWER STUB TO MAIN IS REQUIRED.
- LOCATION OF SEDIMENT TRAP AND SWALE MAY NOT BE LOCATED WITHIN EXISTING EASEMENTS AND EARTHWORK ASSOCIATED WITH CONSTRUCTING THESE BMPs CANNOT IMPACT EASEMENTS OR EXISTING INFRASTRUCTURE.
- FRANCHISE UTILITIES SHOWN ON THIS PLAN ARE NOT REVIEWED OR APPROVED BY THE CITY OF MERCER ISLAND. CONTRACTOR/OTHERS TO COORDINATE WITH APPROPRIATE UTILITY OWNER.

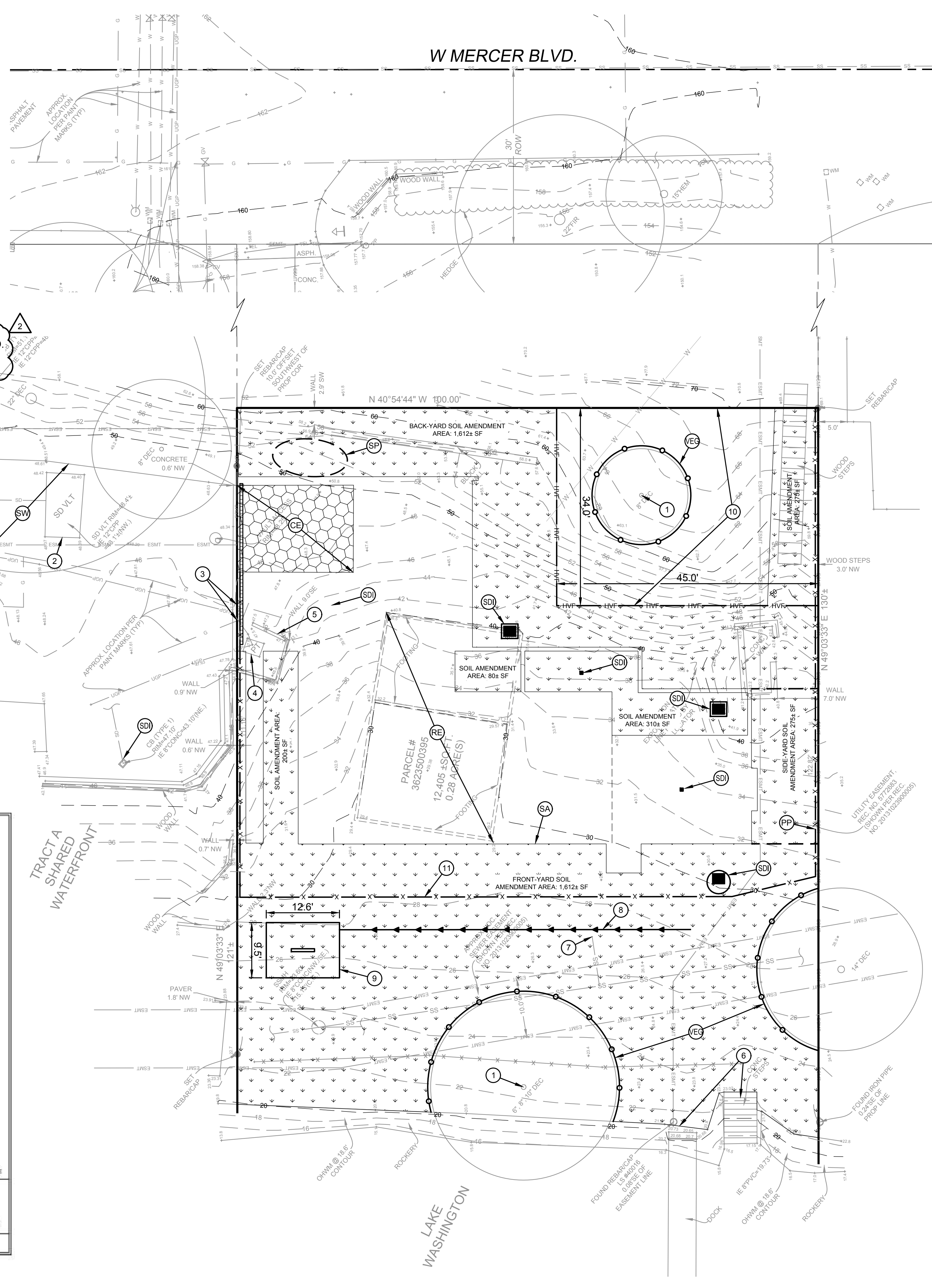
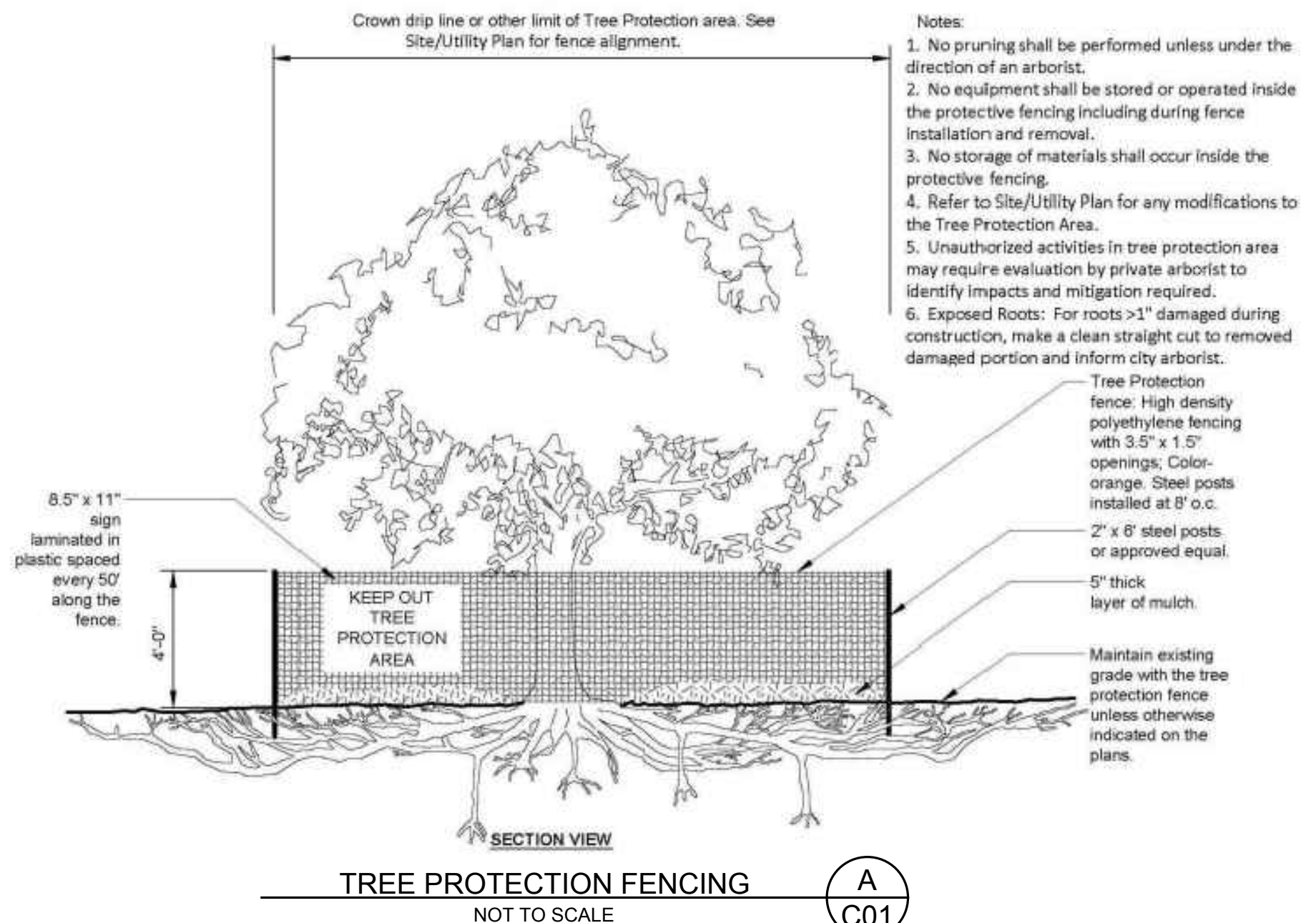
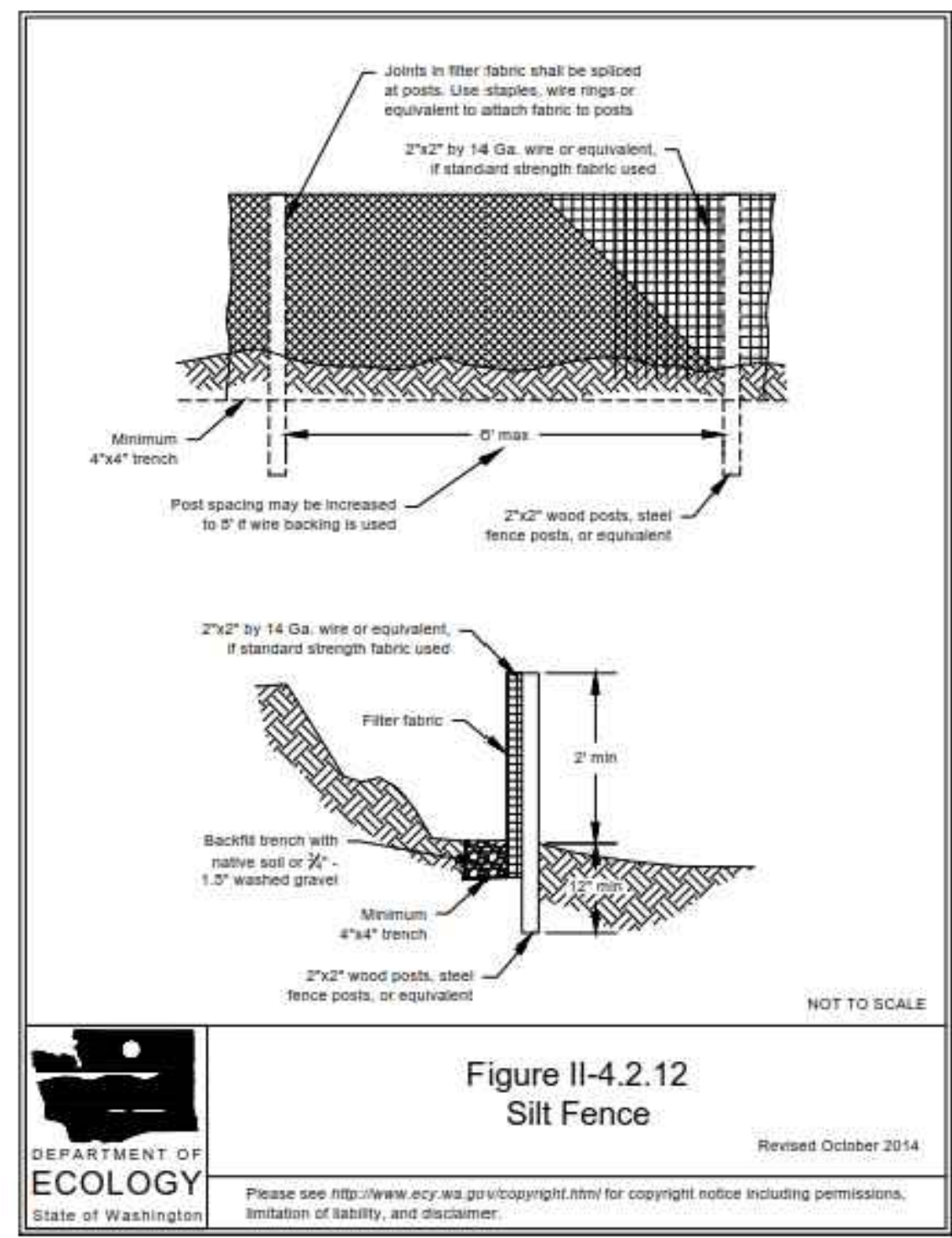
ABBREVIATIONS:

- BM = BENCHMARK
- BOTS = BOTTOM OF STAIR
- CB = CATCH BASIN
- CONC = CONCRETE
- DOE = DEPARTMENT OF ECOLOGY
- EX = EXISTING
- EG = EXISTING GRADE
- FF = FINISHED FLOOR
- FG = FINISHED GRADE
- FL = FLOWLINE
- IE = INVERT ELEVATION
- LSCAPE = LANDSCAPING
- M.I.C. = MONUMENT IN CASE
- NO. = NUMBER
- STD = STANDARD
- TOC = TOP OF CURB
- TOP = TOP OF PAVEMENT
- TOPS = TOP OF STAIR
- TYP = TYPICAL
- WI = WITH

LEGEND:

- STABILIZED CONSTRUCTION ENTRANCE
- SOIL AMENDMENT (F/C09)
- PERIMETER PROTECTION
- HIGH VISIBILITY FENCING
- TREE PROTECTION FENCING
- STOCKPILE LOCATION

* INSTALL PERIMETER PROTECTION, SUCH AS SILT FENCING, COMPOST SOCKS, OR STRAW WATTLES IN ACCORDANCE WITH 2012 DEPARTMENT OF ECOLOGY (AMENDED IN 2014) MANUAL



REVISION

NO.	DATE	BY	REVISION
1	8/01/2022	JL	CYCLE 1 CITY REVIEW COMMENTS
2	7/25/2023	JL	CYCLE 2 CITY REVIEW COMMENTS

OWNER: MIST LLC- ATTN: FERAS ALROUK
7683 SE 27TH ST, UNIT #418
MERCER ISLAND, WA 98040

PROJECT: 4045 WEST MERCER WAY
MERCER ISLAND, WA 98040
SMALL PARCEL ESC PLAN

PROJ. MANAGER: BI
DESIGNED BY: JL
DRAWN BY: GS
CHECKED BY: BI

SCALE: AS SHOWN
DATE: 7/25/2023
REV: 2
SHEET: 1
OF: 10

SHEET NUMBER
C01

DCOG civil structural
CALL 811
2 BUSINESS DAYS
BEFORE YOU DIG
UNDERGROUND UTILITY LOCATIONS ARE APPROX.

BENJAMIN J. IDOL
Professional Engineer
REG. NO. 0724
EXPIRES 03-31-2026
REG. STATE OF WASHINGTON

BASE MAP TOPOGRAPHY PROVIDED BY OTHERS. DCOG CANNOT BE HELD LIABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES, & ALL OTHER EX FEATURES & CONDITIONS. IF CONDITIONS ARE NOT AS SHOWN ON PLANS CANNOT BE CONSTRUCTED AS SHOWN. CONTACT DCOG PRIOR TO CONSTRUCTION.

CAD FILE NUMBER: P:\CLIENTS\CIVIL\MCCLELLAN ARCHITECTS\4045 WEST MERCER WAY\MERCER ISLAND\DRAWING\4045 WEST MERCER WAY\BP PLANS.DWG
 LAST MODIFIED BY: JACK - SAVE DATE: 7/25/2023 3:51 PM - SHEET SET: 4045 WEST MERCER WAY\BP PLANS - ORIGINAL SHEET SIZE: ARCH FULL BLEED D (36.00 X 24.00 INCHES)
 AUTOCAD VERSION: CIVIL 3D 2017

NOTE: THIS PLAN IDENTIFIES THE MINIMUM MEASURES REQUIRED; ADDITIONAL MEASURES MAY BE REQUIRED BASED ON CONSTRUCTION METHODS AND ACTUAL AREA OF DISTURBANCE.

CAD FILE NUMBER: P:\CLIENTS\CIVIL\MCCOLLAN ARCHITECTS\4045 WEST MERCER WAY\MERCER WAY\MERCER ISLAND_BP PLANS.DWG
 LAST MODIFIED BY: JACK - SAVE DATE: 7/25/2023 3:51 PM - SHEET SET: 4045 WEST MERCER WAY_BP PLANS - ORIGINAL SHEET SIZE: ARCH FULL BLEED (36.00 X 24.00 INCHES)
 AUTOCAD VERSION: CIVIL 3D 2017



SCALE IN FEET

LEGEND:

- ASPHALT
- CONCRETE
- LANDSCAPE
- DECK
- HIGH VISIBILITY FENCING
- TREE PROTECTION FENCING

DRAINAGE NOTES:

ROOF DRAINS:

1. NUMBER AND SIZE SHALL BE IN CONFORMANCE WITH THE UNIFORM PLUMBING CODE.
2. DOWNSPOUTS SHALL BE TIED INTO A NON-PERFORATED, RIGID, SMOOTH-BORE PIPE, WHICH DRAINS TO AN APPROVED STORM SYSTEM.
3. DRAINPIPE SHALL MEET MATERIAL STANDARDS FOR D2729 FOR P.V.C. PIPE, GR F-405 FOR SMOOTH-BORE H.D.P.E. PIPE.
4. PROVIDE CLEANOUTS AT THE UPPER END OF THE SYSTEM AND AT EACH CUMULATIVE CHANGE OF DIRECTION IN EXCESS OF 135 DEGREES.
5. ALL PIPE FITTINGS SHALL BE MADE OF THE SAME MATERIAL AS THE STRAIGHT PIPE. GLOUED JOINTS SHALL USE A BONDING AGENT RECOMMENDED BY THE PIPE MANUFACTURER.

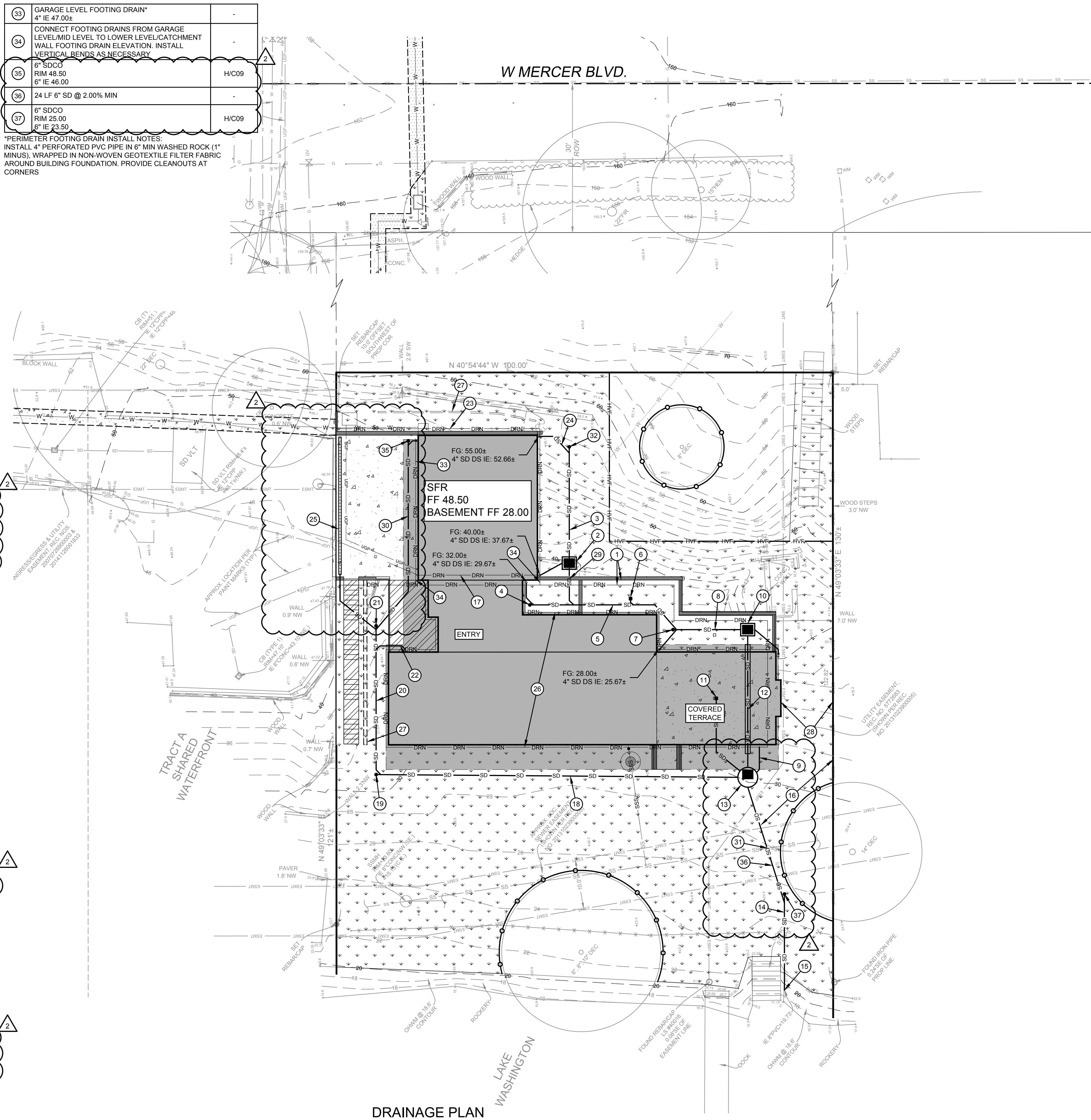
FOOTING DRAINS:

1. FOOTING DRAINS SHALL BE INSTALLED AROUND ALL FOUNDATIONS WHICH ENCLOSE A CRAWL SPACE, CELLAR, BASEMENT, GARAGE OR OTHER BUILDING SPACE.
2. DRAINS SHALL BE CONSTRUCTED OF PERFORATED PIPE INSTALLED AT THE BASE OF THE FOOTING.
3. DRAIN PIPE SHALL MEET MATERIAL STANDARDS FOR D2729 FOR P.V.C. PIPE, WITH THE PERFORATIONS DIRECTED DOWNWARD.
4. GRANULAR BACKFILL SHALL BE PLACED AROUND AND ABOVE THE FOOTING DRAIN TO A DEPTH OF 2/3 OF THE HEIGHT OF THE WALL.

GENERAL:

1. SLOPE ALL DRAIN LINES AT 2% MINIMUM TOWARD THE OUTLET.
2. PROVIDE CLEANOUTS OR CONTROL STRUCTURES AS APPROPRIATE.
3. ALL DRAINAGE PIPING AND STRUCTURES ARE SUBJECT TO INSPECTION PRIOR TO BACKFILLING.
4. ROOF AND FOOTING DRAINS MAY BE COMBINED BEYOND THE LOWEST POINT OF THE FOOTING DRAIN.
5. USE SAND COLLARS AT CB CONNECTIONS TO P.V.C. PIPE.
6. UNLESS OTHERWISE SPECIFIED, 6" STORM DRAIN PIPE FOR ROOF DRAINS AND SEWER PIPE SHALL BE SDR35 PVC PIPE.
7. ALL FOOTING DRAIN AND PERFORATED PIPE SHALL BE D2729 PVC PIPE WITH THE PERFORATIONS DIRECTED DOWNWARDS.
8. ALL PERF PIPE SHALL BE 4" DIAMETER UNLESS OTHERWISE SHOWN.
9. CONTRACTOR TO VERIFY INVERTS OF STORM DRAIN IN ROW AND ADJUST ONSITE STORM SYSTEM AS NECESSARY.
10. CONTRACTOR TO FIELD LOCATE AND REROUTE ANY POTENTIAL UTILITY CONFLICTS WITH DETENTION FACILITY PRIOR TO CONSTRUCTION
11. THE LAWN AND LANDSCAPE AREAS ARE REQUIRED TO PROVIDE POST-CONSTRUCTION SOIL QUALITY AND DEPTH IN ACCORDANCE WITH BMP TS-13. THE PROJECT CIVIL ENGINEER MUST PROVIDE A LETTER OF CERTIFICATION TO ENSURE THAT THE LAWN AND LANDSCAPE AREAS ARE MEETING THE POST-CONSTRUCTION SOIL QUALITY AND DEPTH REQUIREMENTS SPECIFIED ON THE APPROVED PLAN SET PRIOR TO FINAL INSPECTION OF THE PROJECT. CONTRACTOR MUST PROVIDE CIVIL ENGINEER W/ INFORMATION PROVING THE POST-CONSTRUCTION SOILS MEET THESE REQUIREMENTS.

KEY	NOTE	DETAIL/SHEET
1	PERMANENT SHORING & CATCHMENT WALL. INSTALL PLASTIC BACKED DRAINAGE COMPOSITE (MIRADRAIN OR EQUIVALENT) AND INSTALL WEEP PIPES MIN 6" ON CENTER DRAINING TO THE FOOTING DRAIN. SEE GEOTECHNICAL REPORT FOR FURTHER INFORMATION 4" IE 26.50±	K/C10
2	TYPE 1 CB W/ OPEN GRATE LID RIM 40.00 4" IE (N) 37.50 (DS) 4" IE (W) 37.50 (DS) 6" IE (S) 37.00	G/C09
3	23 LF 4" SD @ 2.00% MIN	-
4	6" SDCO RIM 32.00 6" IE 26.20	H/C09
5	33 LF 6" SD @ 2.00% MIN	-
6	6" AREA DRAIN AND TIGHTLINE RIM 27.75 4" IE 26.00	-
7	6" SDCO RIM 27.90 6" IE 25.50	H/C09
8	14 LF 6" SD @ 2.00% MIN	-
9	FOOTING DRAIN TIGHTLINE @ 2.00% MIN	-
10	TYPE 1 CB W/ OPEN GRATE LID RIM 27.75 4" IE (E) 25.20 (DS) 6" IE (W) 25.20 6" IE (S) 25.10	G/C09
11	6" AREA DRAIN AND TIGHTLINE. MEP TO DETERMINE FINAL ROUTING. CONSULT CIVIL ENGINEER IF CASING PIPE REQUIRED RIM 27.75 4" IE 26.00	-
12	29 LF 6" SD PIPE IN 12" DI SLEEVE UNDER BUILDING SLAB. CONTRACTOR TO INSTALL @ MIN 6" OF COVER FROM BUILDING FOUNDATION ELEVATION (ELEV -26.50±) & @ 2.00% MIN SLOPE. CONTRACTOR TO PROVIDE CASING SPACERS AND RUBBER END SEAL ON BOTH ENDS BETWEEN CARRIER PIPE AND CASING PIPE AND IS TO FILL ANNULAR SPACE WITH APPROVED MATERIAL. PIPE WITHIN CASING TO BE RESTRAINED JOINT	-
13	TYPE 2 CB W/ OPEN GRATE LID & OIL/WATER SEPARATOR RIM 30.00 6" IE (W) 27.00 6" IE (NW) 24.50 6" IE (NE) 26.00 (FTG) 6" IE (N) 24.50 6" IE (S) 24.50	E/C09 R/C10
14	19 LF 6" SD @ 2.00% MIN	-
15	CONNECT TO EX PVC OUTFALL ON HIGH SIDE OF BULKHEAD/ROCKERY. RESTORE DISTURBED SURFACES IN KIND. CIVIL ENGINEER TO VERIFY CONDITION OF THE EXISTING OUTFALL PIPE AND VIABILITY FOR REUSE 6" TO 8" ADAPTER 8" PVC IE 19.73	-
16	DRAINAGE LATERALS FROM ADJACENT SITES MAY CONNECT TO EX LAKE OUTFALL. CONTRACTOR TO DETERMINE IN FIELD AND CONNECT EX TO PROPOSED PIPE (IF PIPES DISCOVERED)	-
17	MID LEVEL PERIMETER FOOTING DRAIN* 4" IE 37.00±	-
18	75 LF 6" SD @ 2.00% MIN	-
19	6" SDCO RIM 31.00 6" IE 28.50	H/C09
20	30 LF 6" SD @ 2.00% MIN	-
21	6" SDCO RIM 41.00 6" IE 38.50	H/C09
22	DS PIPE TO PENETRATE DECK. TIGHTLINE TO DRAINAGE INFRASTRUCTURE	-
23	CATCHMENT WALL. INSTALL FOOTING DRAIN AT BASE OF WALL. SEE GEOTECHNICAL REPORT FOR FURTHER INFORMATION* 4" IE 47.15±	-
24	ROOF DS AND TIGHTLINE @ 2.00% MIN (TYP)	-
25	6" TRENCH DRAIN W/ 6" OUTLET. OUTLET PIPE TO RUN DOWN WALL FACE AND DRAIN TO KN 21 SDCO RIM TO FOLLOW EG ALONG PROPERTY LINE 6" IE 47.00	-
26	LOWER LEVEL PERIMETER FOOTING DRAIN* 4" IE 26.50±	-
27	TEMPORARY SHORING WALL. SEE STRUCTURAL & ARCHITECTURAL PLANS FOR FURTHER INFORMATION	-
28	EX INFRASTRUCTURE (FROM NEIGHBORING PROPERTIES) MAY BE LOCATED WITHIN EASEMENT. LOCATE IN FIELD, AND PROTECT EX UTILITIES. CONTACT CIVIL ENGINEER IF NEEDED	-
29	PIPE TO PENETRATE WALL AND CONNECT TO KN 5 PIPE. INSTALL CASING PIPE (CONSULT CIVIL ENGINEER IF NEEDED) VERTICAL BENDS AS NECESSARY	-
30	40 LF 6" SD @ 2.00% MIN. PIPE TO RUN DOWN WALL FACE AND DRAIN TO KN 21 SDCO	-
31	STORM AND SEWER MAIN CROSSING ENSURE 1' MIN CLEARANCE BETWEEN STORM (ABOVE) AND SEWER (BELOW) IS SATISFIED 6" STORM IE 23.95 8" SEWER MAIN IE (ASSUMED) 16.00±	-
32	6" SDCO RIM 55.00 6" IE 52.50	H/C09



<p>REVISION</p> <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>BY</th> <th>REVISION</th> </tr> <tr> <td>1</td> <td>8/01/2022</td> <td>JL</td> <td>CYCLE 1 CITY REVIEW COMMENTS</td> </tr> <tr> <td>2</td> <td>7/25/2023</td> <td>JL</td> <td>CYCLE 2 CITY REVIEW COMMENTS</td> </tr> </table>		NO.	DATE	BY	REVISION	1	8/01/2022	JL	CYCLE 1 CITY REVIEW COMMENTS	2	7/25/2023	JL	CYCLE 2 CITY REVIEW COMMENTS
NO.	DATE	BY	REVISION										
1	8/01/2022	JL	CYCLE 1 CITY REVIEW COMMENTS										
2	7/25/2023	JL	CYCLE 2 CITY REVIEW COMMENTS										
<p>OWNER: MIST LLC- ATTN: FERAS ALROUK 7683 SE 27TH ST, UNIT #418 MERCER ISLAND, WA 98040</p>													
<p>PROJECT: 4045 WEST MERCER WAY MERCER ISLAND, WA 98040 DRAINAGE PLAN</p>													
<p>PROJ. MANAGER: BI DESIGNED BY: JL DRAWN BY: GS CHECKED BY: BI</p>													
<p>SCALE: AS SHOWN DATE: 7/25/2023 REV: 2 SHEET: 2 OF: 10</p>													
<p>SHEET NUMBER C02</p>													

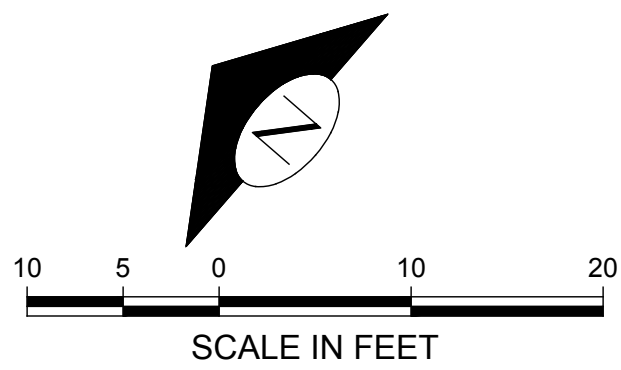
9706 4th Ave NE
Suite 300
Seattle, WA 98115
P: 206 525 0024
F: 206 525 1012
www.dcgengr.com

DCG civil structural

CALL 811
2 BUSINESS DAYS
BEFORE YOU DIG
UNDERGROUND UTILITY LOCATIONS ARE APPROX.

Benjamin J. Dugan
Professional Engineer
No. 23070725
Expires 12/31/2026
REGISTERED IN THE STATE OF WASHINGTON

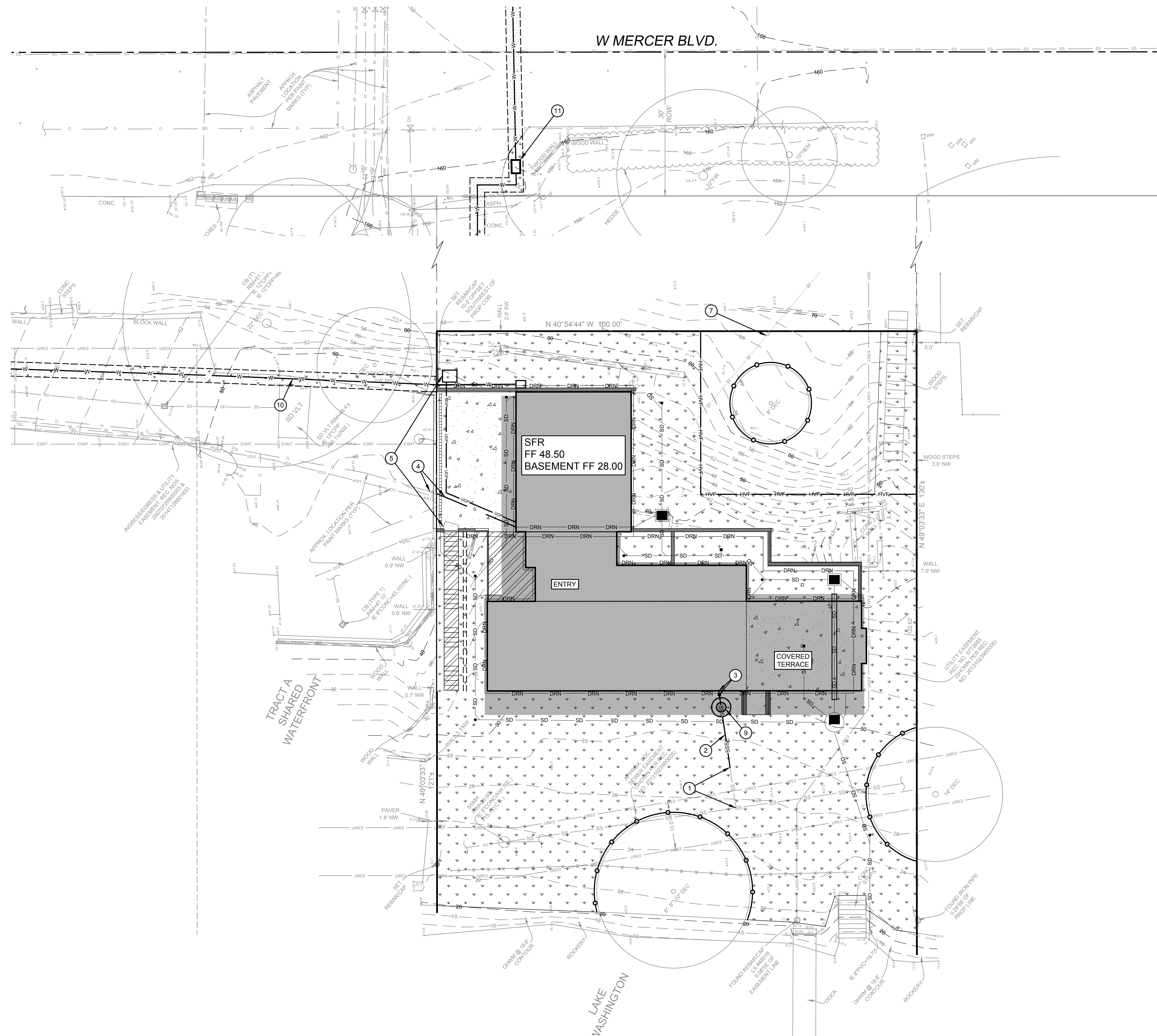
BASE MAP TOPOGRAPHY PROVIDED BY OTHERS. DCG CANNOT BE HELD LIABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES, & ALL OTHER EX FEATURES & CONDITIONS. IF CONDITIONS ARE NOT AS SHOWN, ALL PLANS CANNOT BE CONSTRUCTED AS SHOWN. CONTACT DCG PRIOR TO CONSTRUCTION.



- LEGEND:**
- ASPHALT
 - CONCRETE
 - LANDSCAPE
 - DECK
 - HIGH VISIBILITY FENCING
 - TREE PROTECTION FENCING

KEY NOTES:		
KEY	NOTE	DETAIL/SHEET
1	LOCATION OF EX SSS CONNECTION TO SEWER MAIN IS SHOWN APPROXIMATELY PER CITY GIS INFORMATION. PROJECT IS TO REUSE EXISTING STUB IF IN ADEQUATE CONDITION. SEE GENERAL NOTE 1 THIS SHEET 6" IE 17.00± (SEWER STUB) 8" IE 15.73± (SEWER MAIN)	J/C10
2	12 LF 4" SSS @ 2.00% MIN	-
3	4" SSSCO & BUILDING POINT OF COMPLIANCE RIM 27.50 4" IE 24.50	M/C10
4	APPROXIMATE LOCATION OF EX GAS SERVICE. CONTRACTOR TO LOCATE IN FIELD. COORDINATE WITH PSE IF SERVICE ALLOWED FOR REUSE (BY OTHERS). SERVICE MAY NEED TO BE REPLACED AS REQUIRED. FRANCHISE UTILITIES ARE NOT REVIEWED OR APPROVED BY THE CITY OF MERCER ISLAND. IF REPLACEMENT REQUIRED, CONSULT CIVIL ENGINEER	-
5	POWER TRANSFORMER VAULT TO BE RELOCATED. COORDINATE WITH UTILITY OWNER (BY OTHERS). ELECTRICAL SERVICE SHOWN SCHEMATICALLY ONLY. FRANCHISE UTILITIES ARE NOT REVIEWED OR APPROVED BY THE CITY OF MERCER ISLAND	-
6	NOT USED	-
7	APPROXIMATE LOCATION OF EX WATER SERVICE. EX WATER METER TO BE REMOVED ALONG W MERCER WAY. EXISTING SERVICE TO BE ABANDONED AT MAIN AND PIPE TO BE ABANDONED IN PLACE. SEE SHEET C04 FOR ADDITIONAL INFORMATION	-
8	NOT USED	-
9	BACKFLOW PREVENTION VALVE 4" IE 24.30	L&M/C10
10	NEW WATER SERVICE (SEE SHEET C04 FOR ADDITIONAL INFORMATION)	-
11	NEW WATER METER & SERVICE (SEE SHEET C04 FOR ADDITIONAL INFORMATION)	-

- GENERAL NOTES:**
- CCTV INSPECTION OF THE EXISTING SIDE SEWER TO THE SEWER MAIN IS REQUIRED PRIOR TO ANY WORK RELATED TO THE SIDE SEWER. IF THE RESULT OF THE CCTV SHOWS THE SIDE SEWER TO BE IN UNSATISFACTORY CONDITION (AS DETERMINED BY THE CITY OF MERCER ISLAND INSPECTOR), REPLACEMENT OF EXISTING SIDE SEWER STUB TO MAIN IS REQUIRED.
 - FRANCHISE UTILITIES SHOWN ON THIS PLAN ARE NOT REVIEWED OR APPROVED BY THE CITY OF MERCER ISLAND. CONTRACTOR/OTHERS TO COORDINATE WITH APPROPRIATE UTILITY OWNER.



UTILITY PLAN

CAD FILE NUMBER: P:\CLIENTS\CIVIL\MCCELLAN ARCHITECTS\4445 WEST MERCER WAY\MERCER ISLAND\DRAWING\4445 WEST MERCER WAY\MERCER ISLAND_BP PLANS.DWG
 LAST MODIFIED BY: JACK - SAVE DATE: 7/25/2023 3:51 PM - SHEET SET: 4045 WEST MERCER WAY_BP PLANS - ORIGINAL SHEET SIZE: ARCH FULL BLEED D (36.00 X 24.00 INCHES)
 AUTOCAD VERSION: CIVIL 3D 2017

REVISION	BY	DATE	REVISION COMMENTS
1	JL	8/01/2023	CYCLE 1 CITY REVIEW COMMENTS
2	JL	7/25/2023	CYCLE 2 CITY REVIEW COMMENTS

LEED ACCREDITED PROFESSIONALS & THE RELATED ARCHITECT & THE LEED CREDENTIALS ARE TRADEMARKS OWNED BY THE U.S. GREEN BUILDING COUNCIL & ARE AWARDED TO INDIVIDUALS UNDER LICENSE BY THE GREEN BUILDING CERTIFICATION INSTITUTE.

LEED AP

9706 4th Ave NE
 Suite 300
 Seattle, WA 98115
 P: 206 525 0024
 F: 206 525 1012
 www.dcgengr.com

DCG

civil structural

CALL 811
2 BUSINESS DAYS
BEFORE YOU DIG
(UNDERGROUND UTILITY LOCATIONS ARE APPROX.)

BASE MAP/TOPOGRAPHY PROVIDED BY OTHERS. DCG CANNOT BE HELD LIABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES, & ALL OTHER EX FEATURES & CONDITIONS. IF CONDITIONS ARE NOT AS SHOWN ON THIS PLAN CANNOT BE CONSTRUCTED AS SHOWN. CONTACT DCG PRIOR TO CONSTRUCTION.

OWNER: MIST LLC - ATTN: FERAS ALROUK
 7683 SE 27TH ST., UNIT #418
 MERCER ISLAND, WA 98040

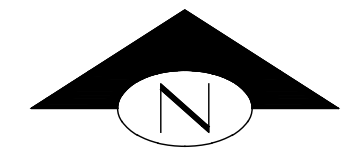
PROJECT: 4045 WEST MERCER WAY
 MERCER ISLAND, WA 98040
UTILITY PLAN

PROJ. MANAGER: BI
DESIGNED BY: JL
DRAWN BY: GS
CHECKED BY: BI

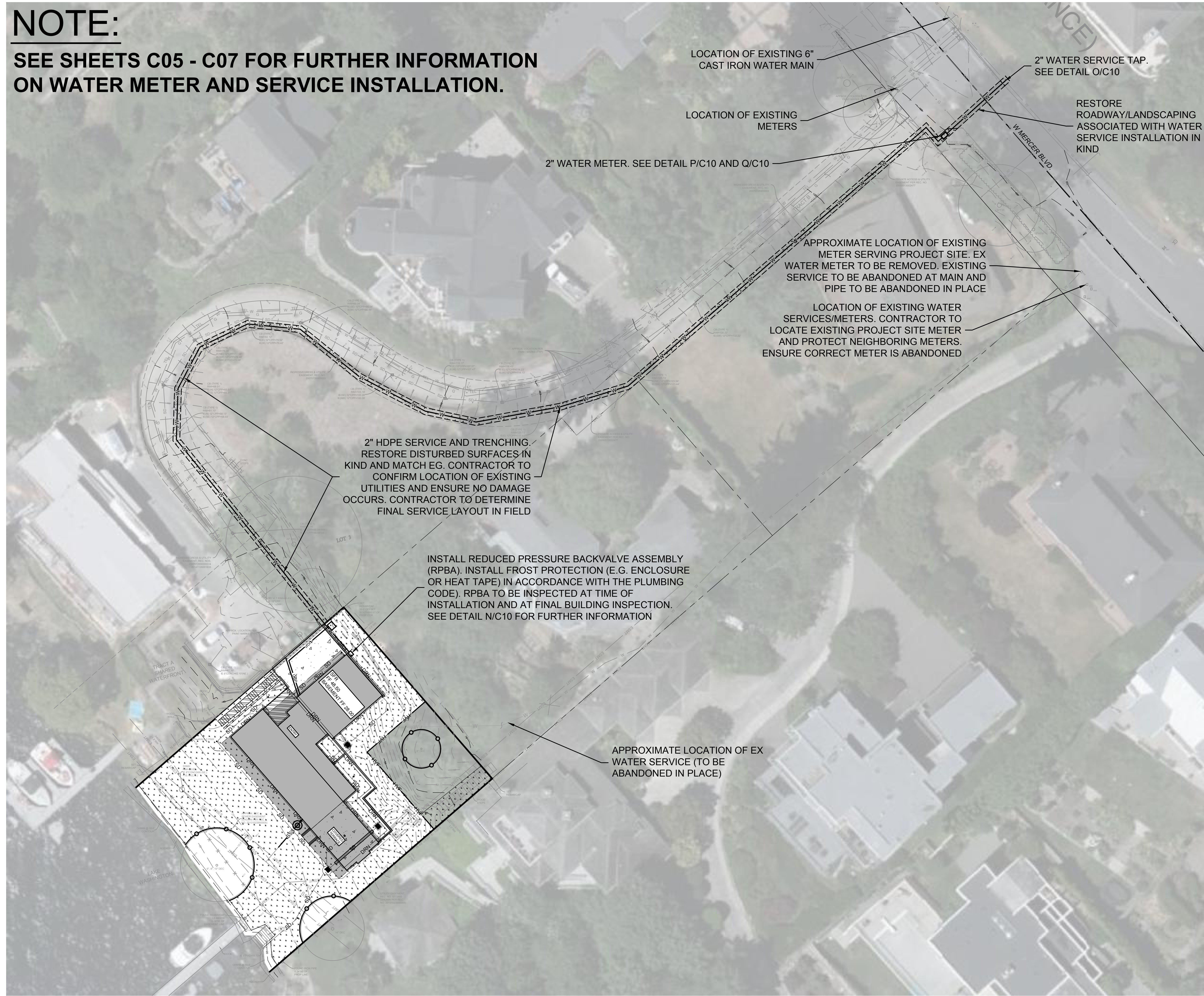
SCALE: AS SHOWN
DATE: 7/25/2023
REV. SHEET
 2 OF 10
SHEET NUMBER

C03

NOTE:
**SEE SHEETS C05 - C07 FOR FURTHER INFORMATION
 ON WATER METER AND SERVICE INSTALLATION.**



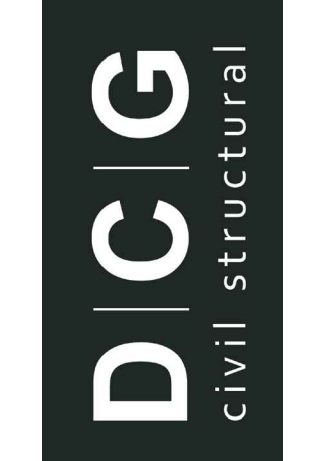
- LEGEND:**
- ASPHALT
 - CONCRETE
 - LANDSCAPE (F C09)
 - DECK
 - HIGH VISIBILITY FENCING
 - TREE PROTECTION FENCING



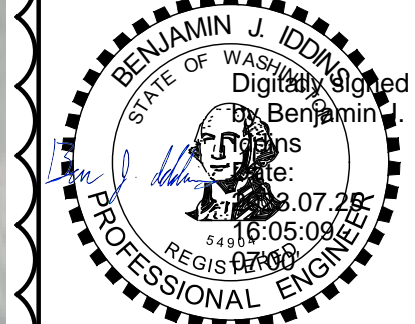
CAD FILE NUMBER: P:\CLIENTS\CIVIL\MCCLELLAN ARCHITECTS\4045 WEST MERCER ISLAND\DRAWING\4045 W MERCER WAY MERCER ISLAND_BP PLANS.DWG
 LAST MODIFIED BY: JACK - SAVE DATE: 7/25/2023 3:51 PM - SHEET SET: 4045 W MERCER WAY BP PLANS - ORIGINAL SHEET SIZE: (ARCH FULL BLEED D (36.00 X 24.00 INCHES))
 AUTOCAD VERSION: CIVIL 3D 2017

NO.	DATE	BY	REVISION
1	8/01/2022	JL	CYCLE 1 CITY REVIEW COMMENTS
2	7/25/2023	JL	CYCLE 2 CITY REVIEW COMMENTS

9706 4th Ave NE
 Suite 300
 Seattle, WA 98115
 P: 206 525 0024
 F: 206 525 1012
 www.dcgengr.com



**CALL 811
 2 BUSINESS DAYS
 BEFORE YOU DIG**
(UNDERGROUND UTILITY LOCATIONS ARE APPROX.)



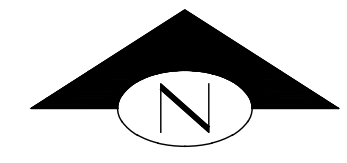
BASE MAP TOPOGRAPHY PROVIDED BY OTHERS. DCG CANNOT BE HELD LIABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES, & ALL OTHER EX FEATURES & CONDITIONS. IF CONDITIONS ARE NOT AS SHOWN &/OR PLANS CANNOT BE CONSTRUCTED AS SHOWN, CONTACT DCG PRIOR TO CONSTRUCTION.

OWNER: MIST LLC - ATTN: FERAS ALROUK
 7683 SE 27TH ST, UNIT #418
 MERCER ISLAND, WA 98040
PROJECT: 4045 WEST MERCER WAY
 MERCER ISLAND, WA 98040
 WATER UTILITY PLAN (OVERALL PLAN)

PROJ. MANAGER:	BI
DESIGNED BY:	JL
DRAWN BY:	GS
CHECKED BY:	BI
SCALE:	AS SHOWN
DATE:	7/25/2023
REV.	2
SHEET	6
OF	10
SHEET NUMBER	

C04

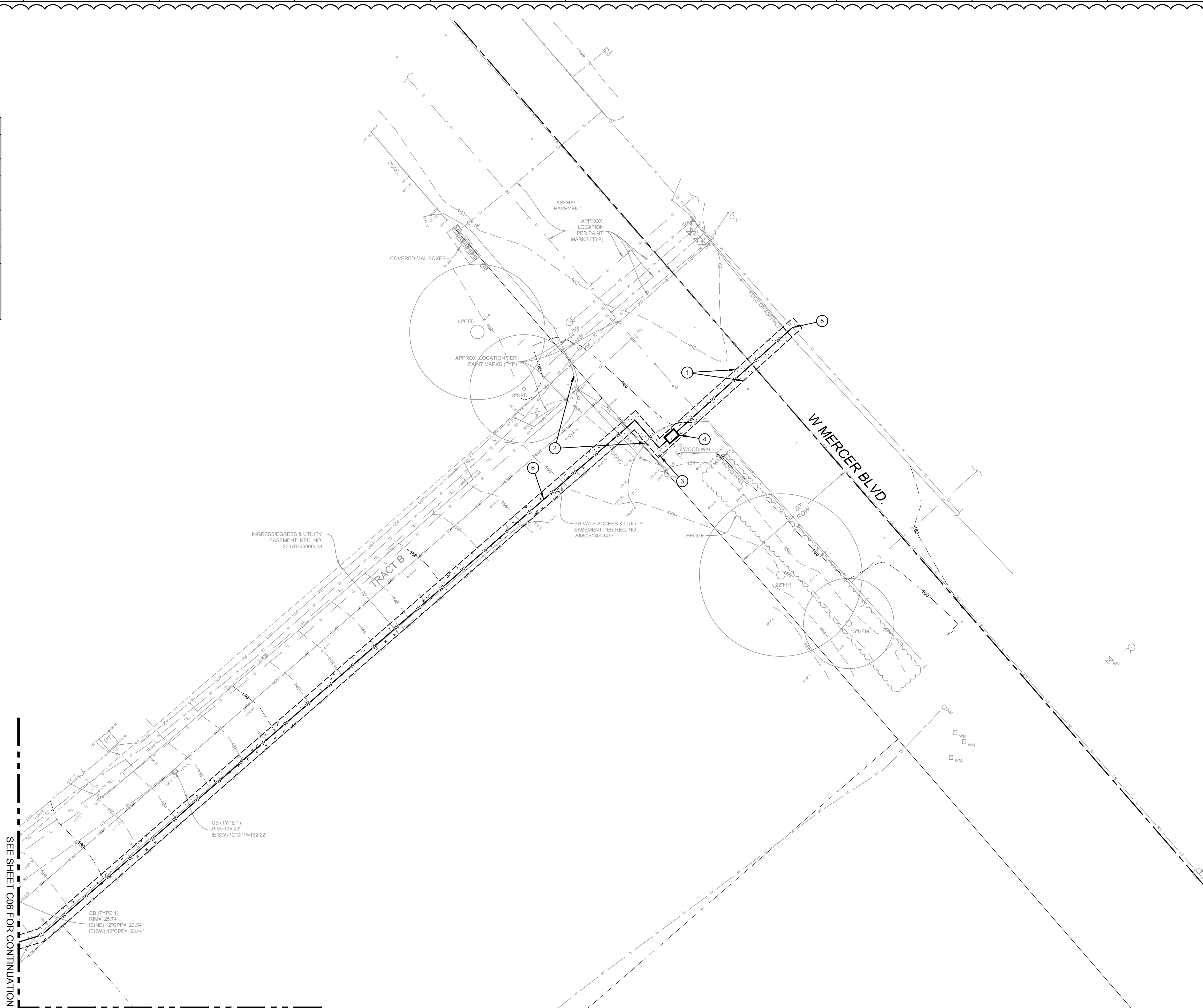
WATER UTILITY PLAN (OVERALL PLAN)



KEY NOTES:		
KEY	NOTE	DETAIL/SHEET
1	SAWCUT & MATCH EG. RESTORE DISTURBED ROADWAY IN KIND	-
2	MINIMIZE DRIVEWAY SHUTDOWN FOR INSTALLATION OF WATER SERVICE. COORDINATE WITH NEIGHBORS IF SHUTDOWN NECESSARY (TYP)	-
3	RESTORE DISTURBED LANDSCAPE IN KIND (TYP)	-
4	2" WATER METER	P/C10 Q/C10
5	2" WATER SERVICE TAP	O/C10
6	2" HDPE SERVICE AND TRENCHING. RESTORE DISTURBED SURFACES IN KIND AND MATCH EG. CONTRACTOR TO CONFIRM LOCATION OF EXISTING UTILITIES AND ENSURE NO DAMAGE OCCURS. CONTRACTOR TO DETERMINE FINAL SERVICE LAYOUT IN FIELD	-

LEGEND:

	ASPHALT
	LANDSCAPE
	CONCRETE

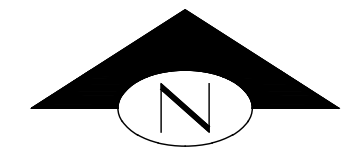


CAD FILE NUMBER: P:\CLIENTS\CIVIL\MCCLELLAN ARCHITECTS\445 WEST MERCER WAY MERCER ISLAND\DRAWING\4045 W MERCER WAY MERCER ISLAND_BP PLANS.DWG
 LAST MODIFIED BY: JACK - SAVE DATE: 7/25/2023 3:51 PM - SHEET SET: 4045 W MERCER WAY BP PLANS - ORIGINAL SHEET SIZE: ARCH FULL BLEED D (36.00 X 24.00 INCHES)
 AUTOCAD VERSION: CIVIL 3D 2017

<p>9706 4th Ave NE Suite 300 Seattle, WA 98115 P: 206 525 0024 F: 206 525 1012 www.dcginc.com</p>		<p>CALL 811 2 BUSINESS DAYS BEFORE YOU DIG <small>UNDERGROUND UTILITY LOCATIONS ARE APPROX.</small></p>		<p><small>BASE MAP/TOPOGRAPHY PROVIDED BY OTHERS. DCG CANNOT BE HELD LIABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES, & ALL OTHER EX FEATURES & CONDITIONS. IF CONDITIONS ARE NOT AS SHOWN, OUR PLANS CANNOT BE CONSTRUCTED AS SHOWN. CONTACT DCG PRIOR TO CONSTRUCTION.</small></p>	<p>OWNER: MIST LLC - ATTN: FERAS ALROUK 7683 SE 27TH ST, UNIT #418 MERCER ISLAND, WA 98040</p> <p>PROJECT: 4045 WEST MERCER WAY MERCER ISLAND, WA 98040 WATER UTILITY PLAN</p>	<p>PROJ. MANAGER: BI DESIGNED BY: JL DRAWN BY: GS CHECKED BY: BI SCALE: AS SHOWN DATE: 7/25/2023</p>	<p>REVISION</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>NO.</th> <th>DATE</th> <th>BY</th> <th>REVISION</th> </tr> <tr> <td>1</td> <td>8/01/2023</td> <td>JL</td> <td>CYCLE 1 CITY REVIEW COMMENTS</td> </tr> <tr> <td>2</td> <td>7/25/2023</td> <td>JL</td> <td>CYCLE 2 CITY REVIEW COMMENTS</td> </tr> </table> <p>LEED ACCREDITED PROFESSIONALS & THE RELATED ACRONYM & THE LEGACY OF LEED ARE TRADEMARKS OWNED BY THE U.S. GREEN BUILDING COUNCIL & ARE AWARDED TO INDIVIDUALS UNDER LICENSE BY THE GREEN BUILDING CERTIFICATION INSTITUTE.</p>	NO.	DATE	BY	REVISION	1	8/01/2023	JL	CYCLE 1 CITY REVIEW COMMENTS	2	7/25/2023	JL	CYCLE 2 CITY REVIEW COMMENTS	<p>SHEET NUMBER</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>REV</td> <td>SHEET</td> </tr> <tr> <td>2</td> <td>10</td> </tr> <tr> <td>OF</td> <td>10</td> </tr> </table>	REV	SHEET	2	10	OF	10
NO.	DATE	BY	REVISION																							
1	8/01/2023	JL	CYCLE 1 CITY REVIEW COMMENTS																							
2	7/25/2023	JL	CYCLE 2 CITY REVIEW COMMENTS																							
REV	SHEET																									
2	10																									
OF	10																									

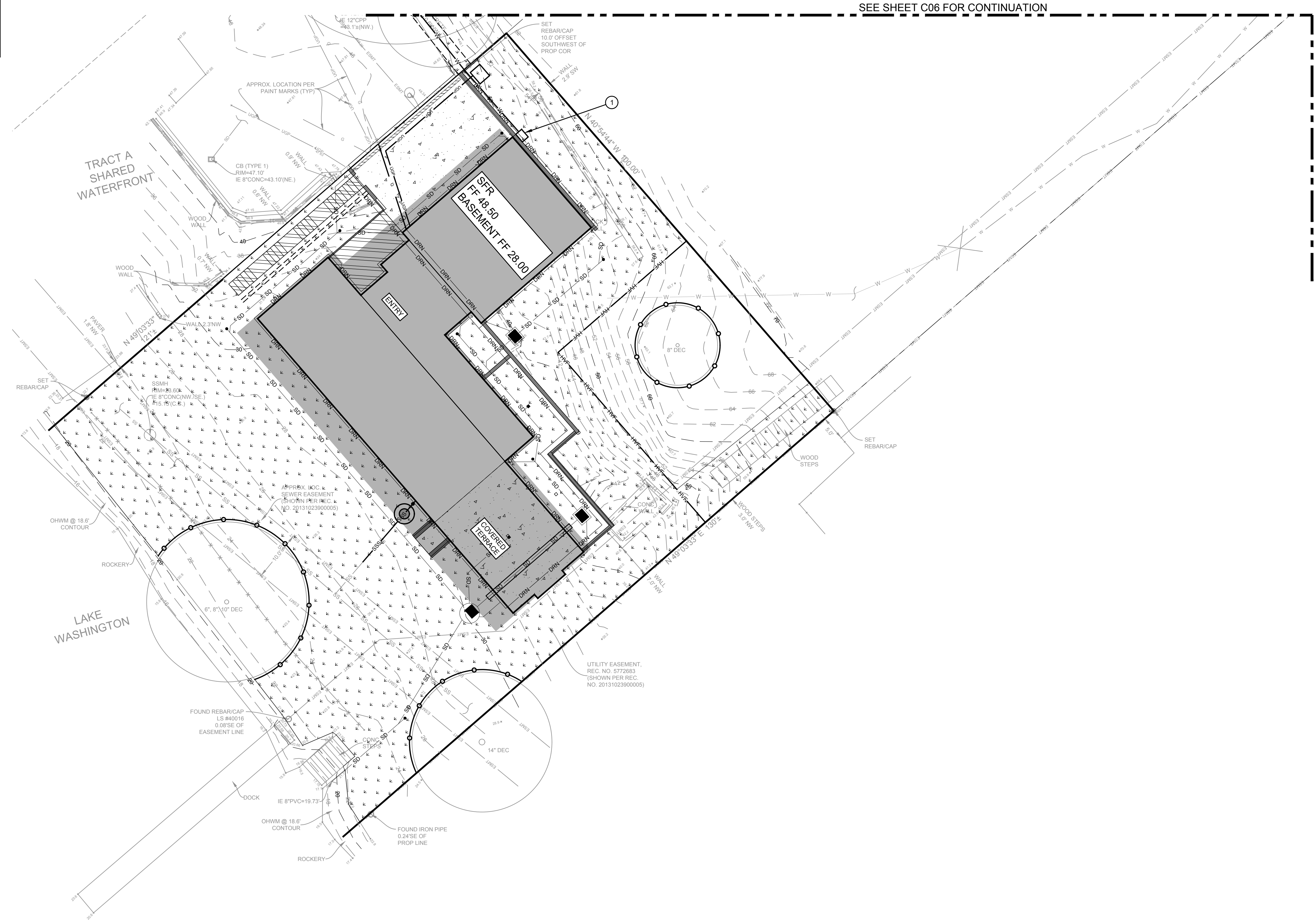
WATER UTILITY PLAN

C05



KEY NOTES:		
KEY	NOTE	DETAIL/SHEET
1	INSTALL REDUCED PRESSURE BACKVALVE ASSEMBLY (RPBA), INSTALL FROST PROTECTION (E.G. ENCLOSURE) OR HEAT TAPE) IN ACCORDANCE WITH THE PLUMBING CODE, RPBA TO BE INSPECTED AT TIME OF INSTALLATION AND AT FINAL BUILDING INSPECTION	N/C10

- LEGEND:**
- CONCRETE
 - LANDSCAPE
 - DECK
 - HIGH VISIBILITY FENCING
 - TREE PROTECTION FENCING

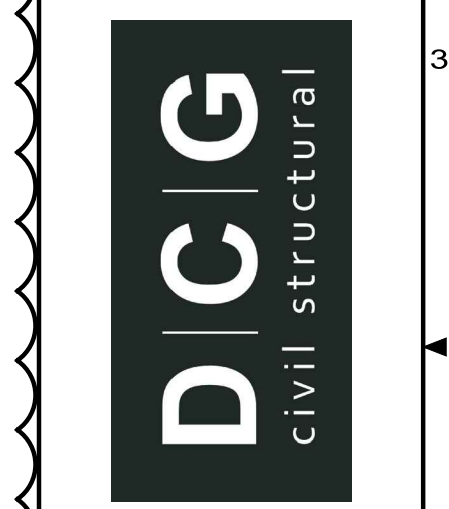


SEE SHEET C06 FOR CONTINUATION

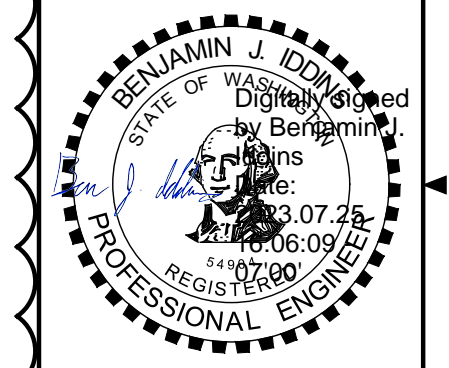
CAD FILE NUMBER: P:\CLIENTS\CIVIL\MCCLELLAN ARCHITECTS\4045 WEST MERCER WAY MERCER ISLAND\DRAWING\4045 WEST MERCER WAY MERCER ISLAND_BP PLANS.DWG
 LAST MODIFIED BY: JACK - SAVE DATE: 7/25/2023 3:51 PM - SHEET SET: 4045 WEST MERCER WAY BP PLANS - ORIGINAL SHEET SIZE: ARCH FULL BLEED D (36.00 X 24.00 INCHES)
 AUTOCAD VERSION: CIVIL 3D 2017

NO.	DATE	BY	REVISION
1	8/01/2022	JL	CYCLE 1 CITY REVIEW COMMENTS
2	7/25/2023	JL	CYCLE 2 CITY REVIEW COMMENTS

9706 4th Ave NE
 Suite 300
 Seattle, WA 98115
 P: 206.525.0024
 F: 206.525.1012
 www.dcgengr.com



CALL 811
 2 BUSINESS DAYS
 BEFORE YOU DIG
UNDERGROUND UTILITY LOCATIONS ARE APPROX.



BASE MAP TOPOGRAPHY PROVIDED BY OTHERS. DCG CANNOT BE HELD LIABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES, & ALL OTHER EX FEATURES & CONDITIONS. IF CONDITIONS ARE NOT AS SHOWN, SUCH PLANS CANNOT BE CONSTRUCTED AS SHOWN. CONTACT DCG PRIOR TO CONSTRUCTION.

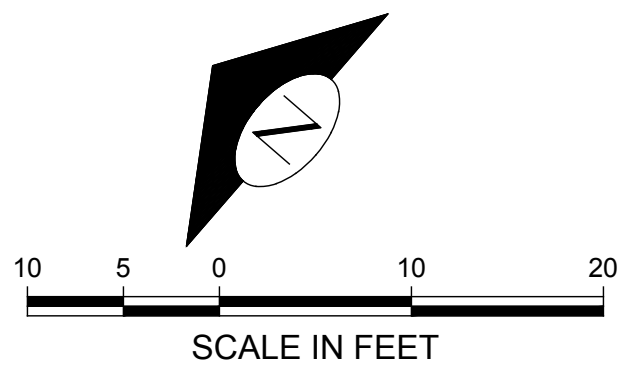
OWNER:
 MIST LLC - ATTN: FERAS ALROUK
 7683 SE 27TH ST, UNIT #418
 MERCER ISLAND, WA 98040

PROJECT:
 4045 WEST MERCER WAY
 MERCER ISLAND, WA 98040
 WATER UTILITY PLAN

PROJ. MANAGER:	BI
DESIGNED BY:	JL
DRAWN BY:	GS
CHECKED BY:	BI
SCALE:	AS SHOWN
DATE:	7/25/2023
REV.	2
SHEET	7
OF	10

SHEET NUMBER **C07**

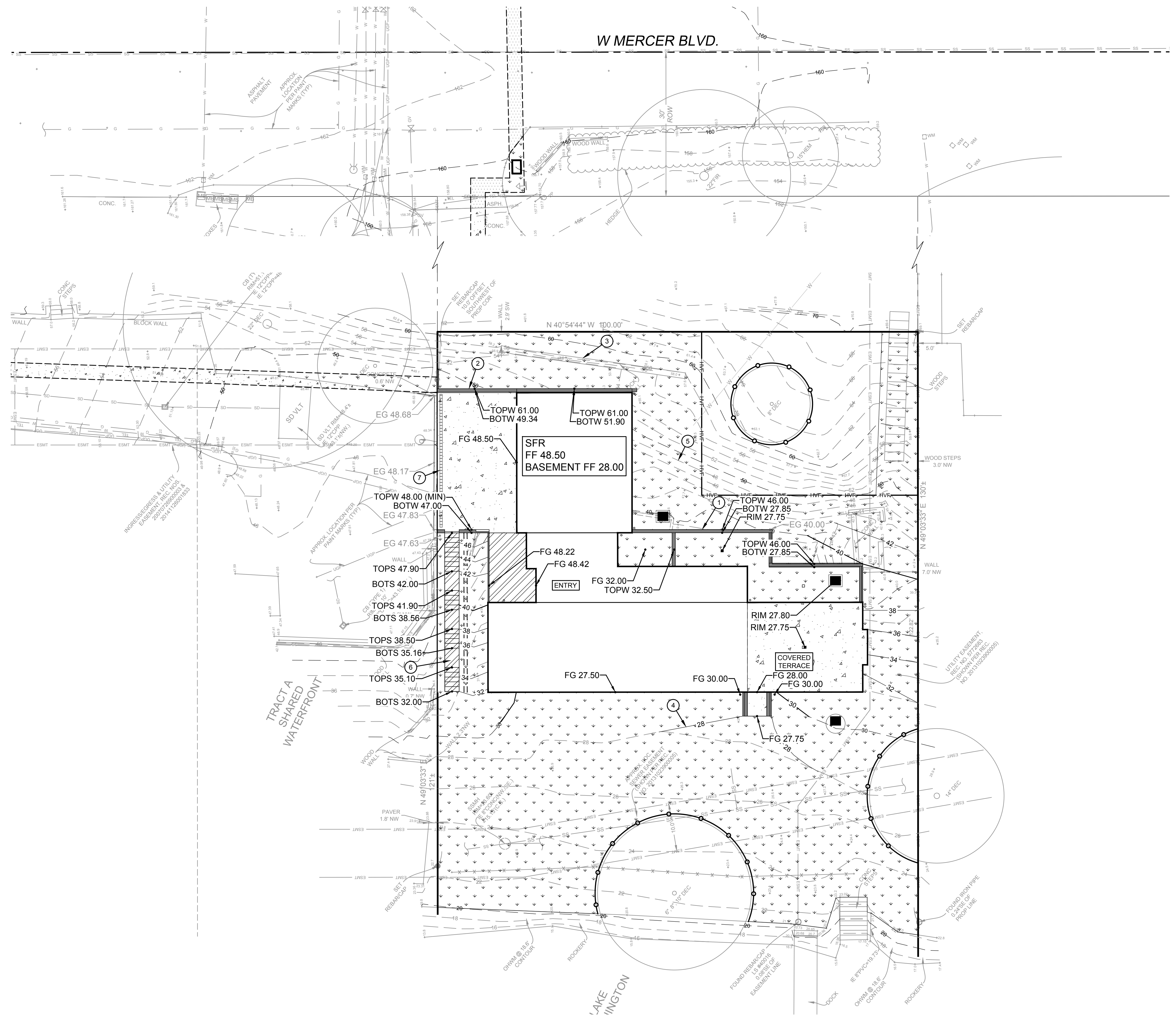
WATER UTILITY PLAN



- LEGEND:**
- CONCRETE
 - LANDSCAPE
 - DECK
 - HIGH VISIBILITY FENCING
 - TREE PROTECTION FENCING

KEY NOTES:

KEY	NOTE	DETAIL/SHEET
1	CATCHMENT WALL TO EXTEND 6' MIN ABOVE EG PER GEOTECHNICAL REPORT	-
2	CATCHMENT WALL TO EXTEND 7' MIN ABOVE EG PER GEOTECHNICAL REPORT	-
3	EXISTING WALL TO REMAIN. IF DISTURBED FROM CONSTRUCTION ACTIVITY, REPLACE IN KIND (4' HEIGHT MAX)	-
4	PROPOSED CONTOUR (TYP)	-
5	EX CONTOUR (TYP)	-
6	WOODEN DECKING TO FOLLOW EG	-
7	ENSURE DRAINAGE SLOPES FROM GARAGE TO TRENCH DRAIN. CONSULT CIVIL ENGINEER IF GRADES SHOWN ON SURVEY DIFFER FROM FIELD CONDITIONS	-



GRADING PLAN

CAD FILE NUMBER: P:\CLIENTS\CIVIL\MCCELLAN ARCHITECTS\4045 WEST MERCER WAY MERCER ISLAND\DRAWING\4045 W MERCER WAY MERCER ISLAND_BP PLANS.DWG
 LAST MODIFIED BY: JACK - SAVE DATE: 7/25/2023 3:51 PM - SHEET SET: 4045 W MERCER WAY BP PLANS - ORIGINAL SHEET SIZE: ARCH FULL BLEED D (36.00 X 24.00 INCHES)
 AUTOCAD VERSION: CIVIL 3D 2017

REVISION	DATE	BY	REVISION	REVISION
1	8/01/2022	JL	1	CYCLE 1 CITY REVIEW COMMENTS
2	7/25/2023	JL	2	CYCLE 2 CITY REVIEW COMMENTS

LEED ACCREDITED PROFESSIONALS & THE RELATED ACRONYM & THE CITY OF SEATTLE ARE TRADE MARKS OWNED BY THE U.S. GREEN BUILDING COUNCIL & ARE AWARDED TO INDIVIDUALS UNDER LICENSE BY THE GREEN BUILDING CERTIFICATION INSTITUTE.

9706 4th Ave NE
 Suite 300
 Seattle, WA 98115
 P: 206 525 0024
 F: 206 525 1012
 www.dcgengr.com

DCG

civil structural

CALL 811
2 BUSINESS DAYS
BEFORE YOU DIG
UNDERGROUND UTILITY LOCATIONS ARE APPROX.

BASE MAP TOPOGRAPHY PROVIDED BY OTHERS. DCG CANNOT BE HELD LIABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES, & ALL OTHER EX FEATURES & CONDITIONS. IF CONDITIONS ARE NOT AS SHOWN ON PLANS CANNOT BE CONSTRUCTED AS SHOWN. CONTACT DCG PRIOR TO CONSTRUCTION.

OWNER: MIST LLC - ATTN: FERAS ALROUK
 7683 SE 27TH ST, UNIT #418
 MERCER ISLAND, WA 98040
 PROJECT: 4045 WEST MERCER WAY
 MERCER ISLAND, WA 98040
 GRADING PLAN

PROJ. MANAGER:	BI
DESIGNED BY:	JL
DRAWN BY:	GS
CHECKED BY:	BI
SCALE:	AS SHOWN
DATE:	7/25/2023
SHEET:	2
REV:	8
OF:	10

C08

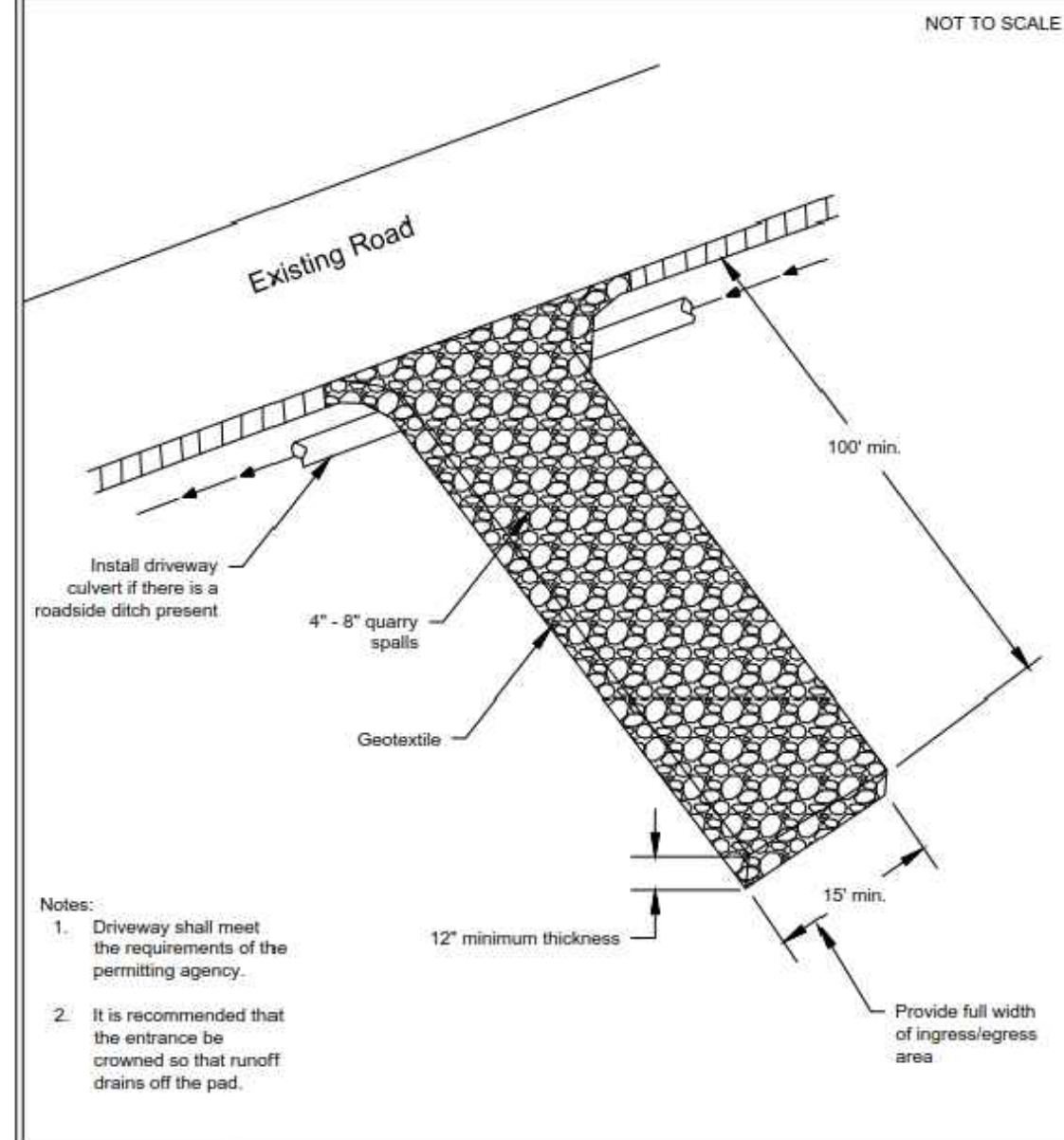


Figure II-4.1.1
Stabilized Construction Entrance

DEPARTMENT OF ECOLOGY
State of Washington
Revised June 2015
Please see <http://www.ecy.wa.gov/copyright.html> for copyright notice including permissions, limitation of liability, and disclaimer.

STABILIZED CONSTRUCTION ENTRANCE (A)
NOT TO SCALE C01

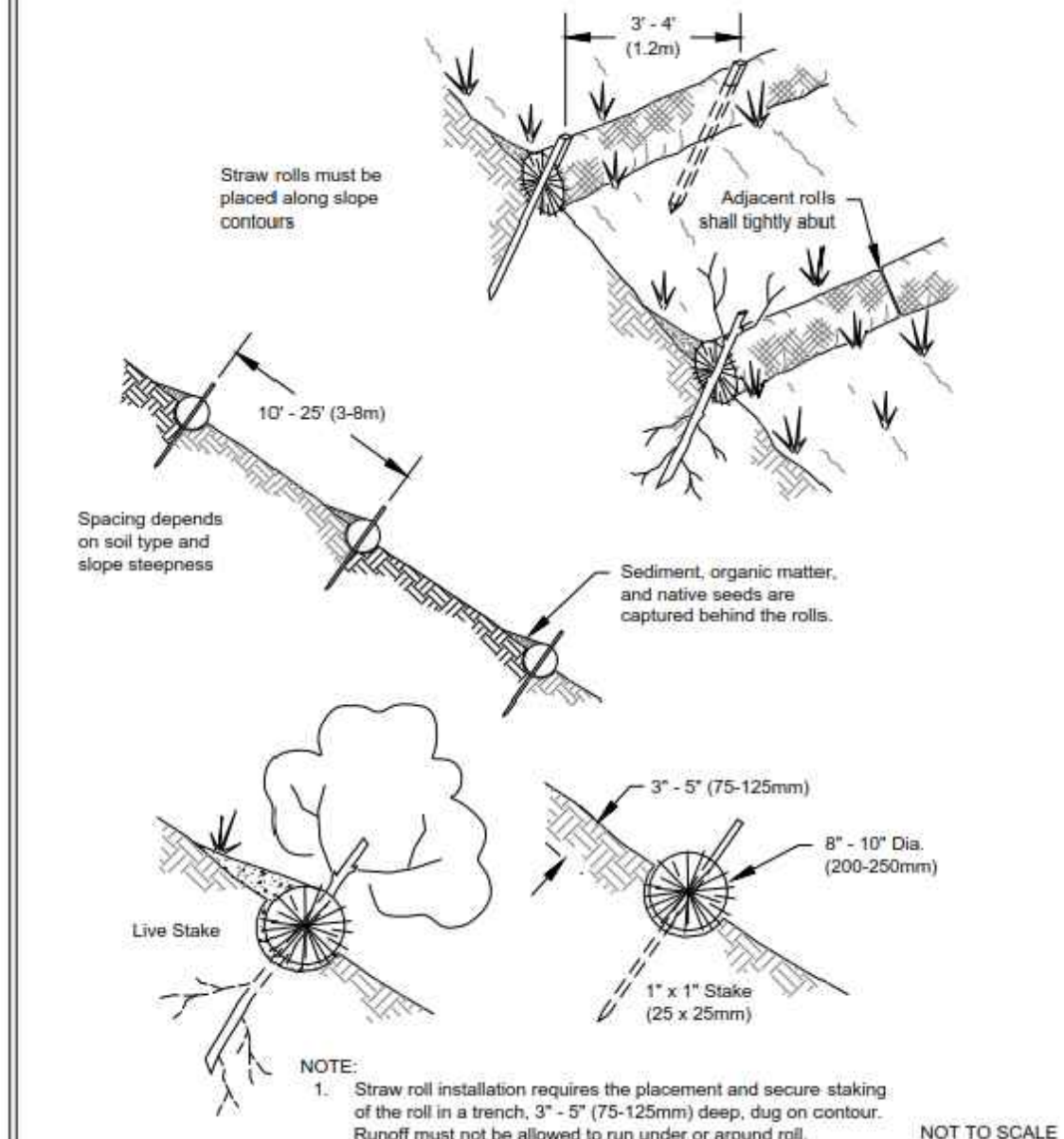


Figure II-4.2.14
Wattles

DEPARTMENT OF ECOLOGY
State of Washington
Revised November 2015
Please see <http://www.ecy.wa.gov/copyright.html> for copyright notice including permissions, limitation of liability, and disclaimer.

STRAW WATTLES (B)
NOT TO SCALE C01

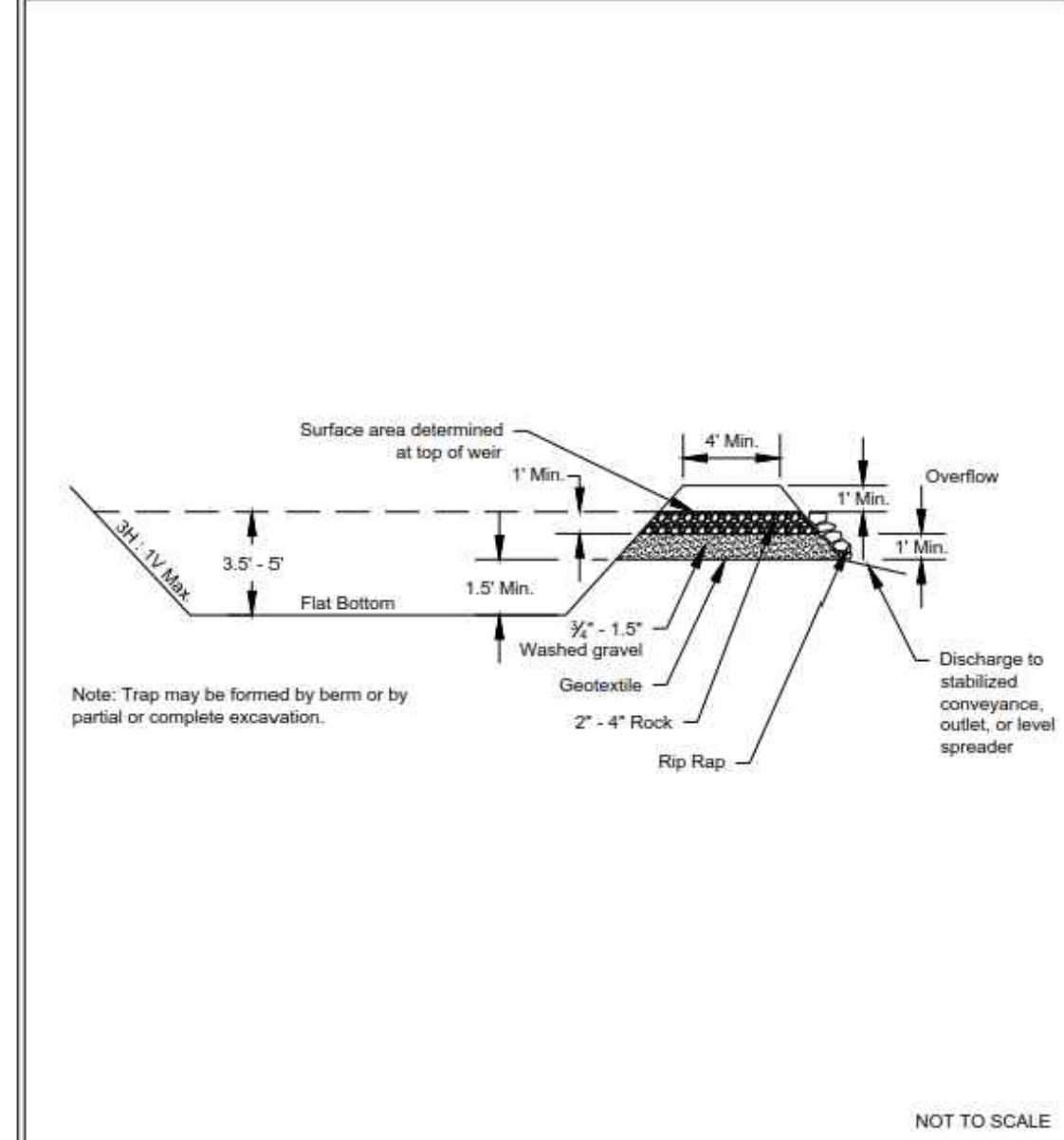


Figure II-4.2.16
Cross Section of Sediment Trap

DEPARTMENT OF ECOLOGY
State of Washington
Revised November 2015
Please see <http://www.ecy.wa.gov/copyright.html> for copyright notice including permissions, limitation of liability, and disclaimer.

SEDIMENT TRAP (C)
NOT TO SCALE C01

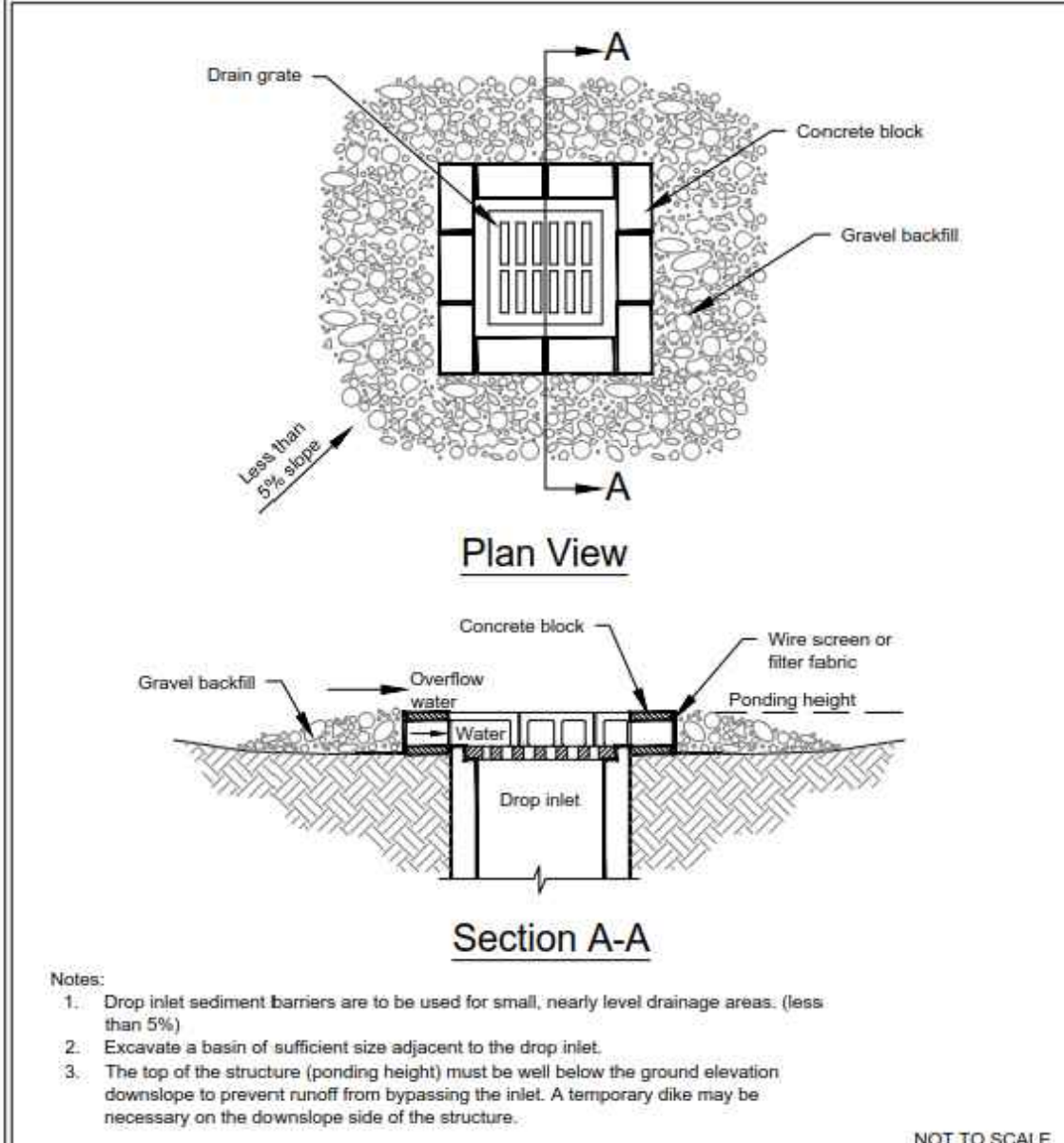


Figure II-4.2.8
Block and Gravel Filter

DEPARTMENT OF ECOLOGY
State of Washington
Revised August 2015
Please see <http://www.ecy.wa.gov/copyright.html> for copyright notice including permissions, limitation of liability, and disclaimer.

TEMPORARY INLET PROTECTION (D)
NOT TO SCALE C01

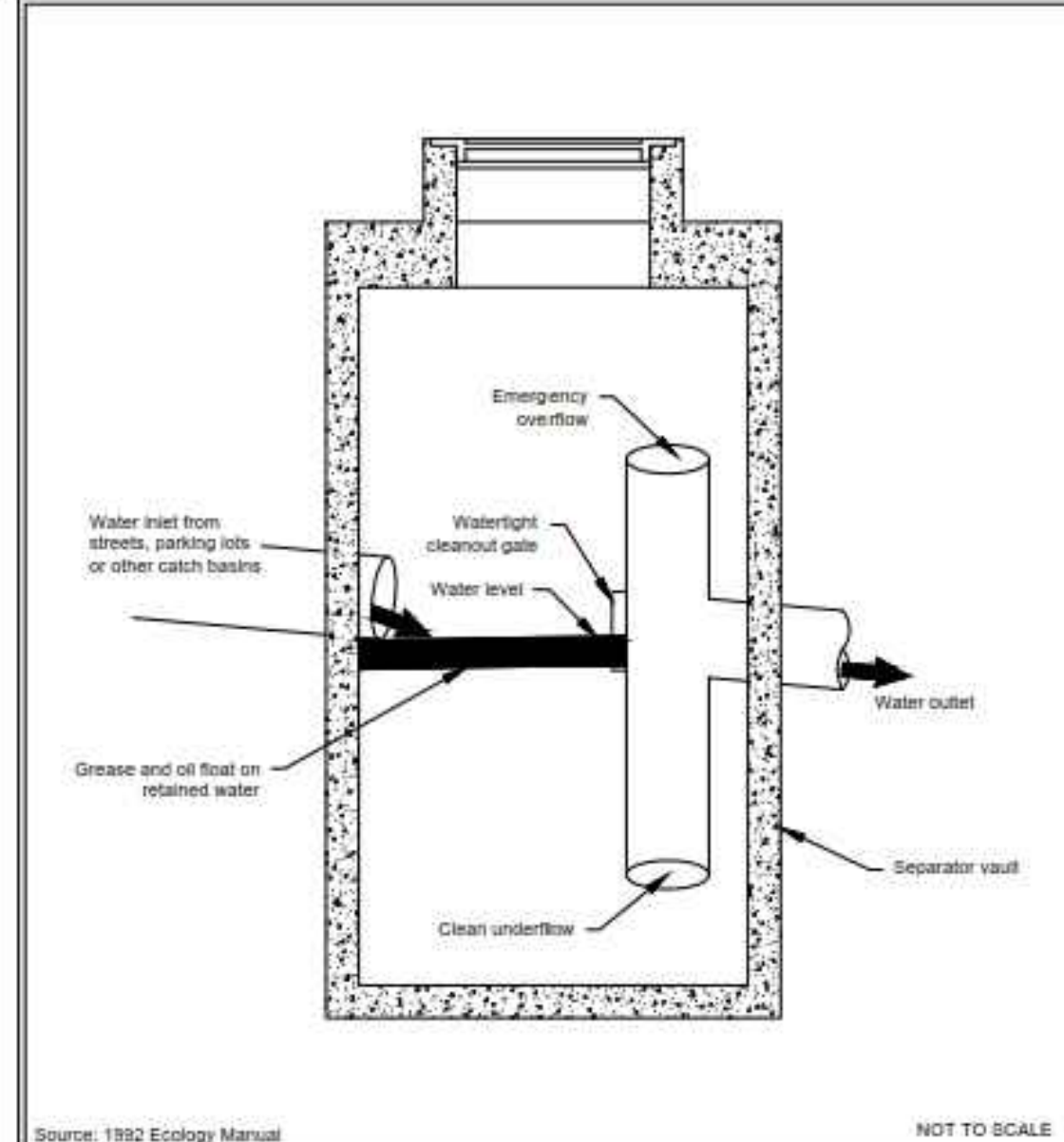


Figure V-11.2.3
Spill Control Separator (not for oil treatment)

DEPARTMENT OF ECOLOGY
State of Washington
Revised March 2010
Please see <http://www.ecy.wa.gov/copyright.html> for copyright notice including permissions, limitation of liability, and disclaimer.

OIL/WATER SEPARATOR (E)
NOT TO SCALE C02

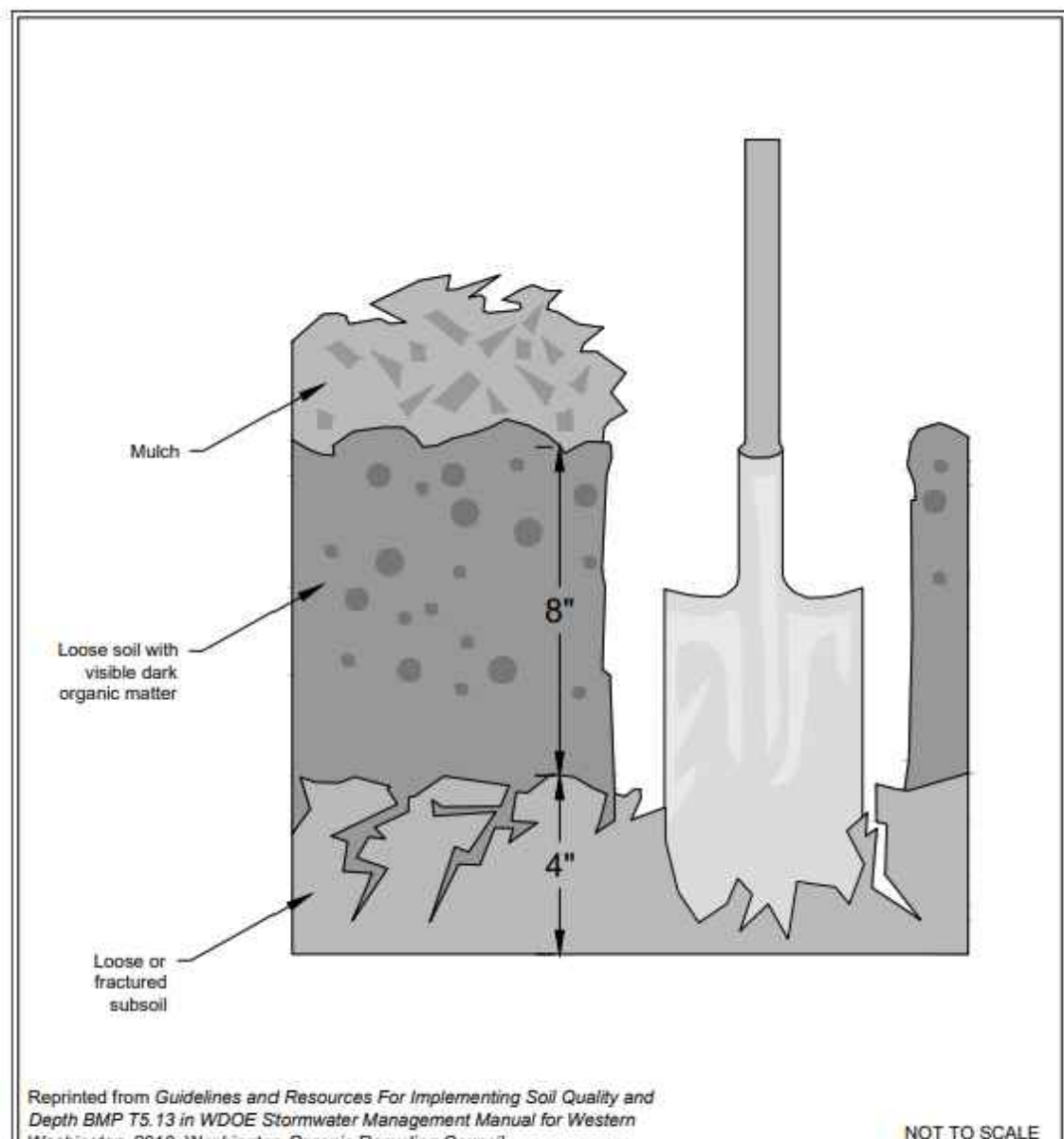
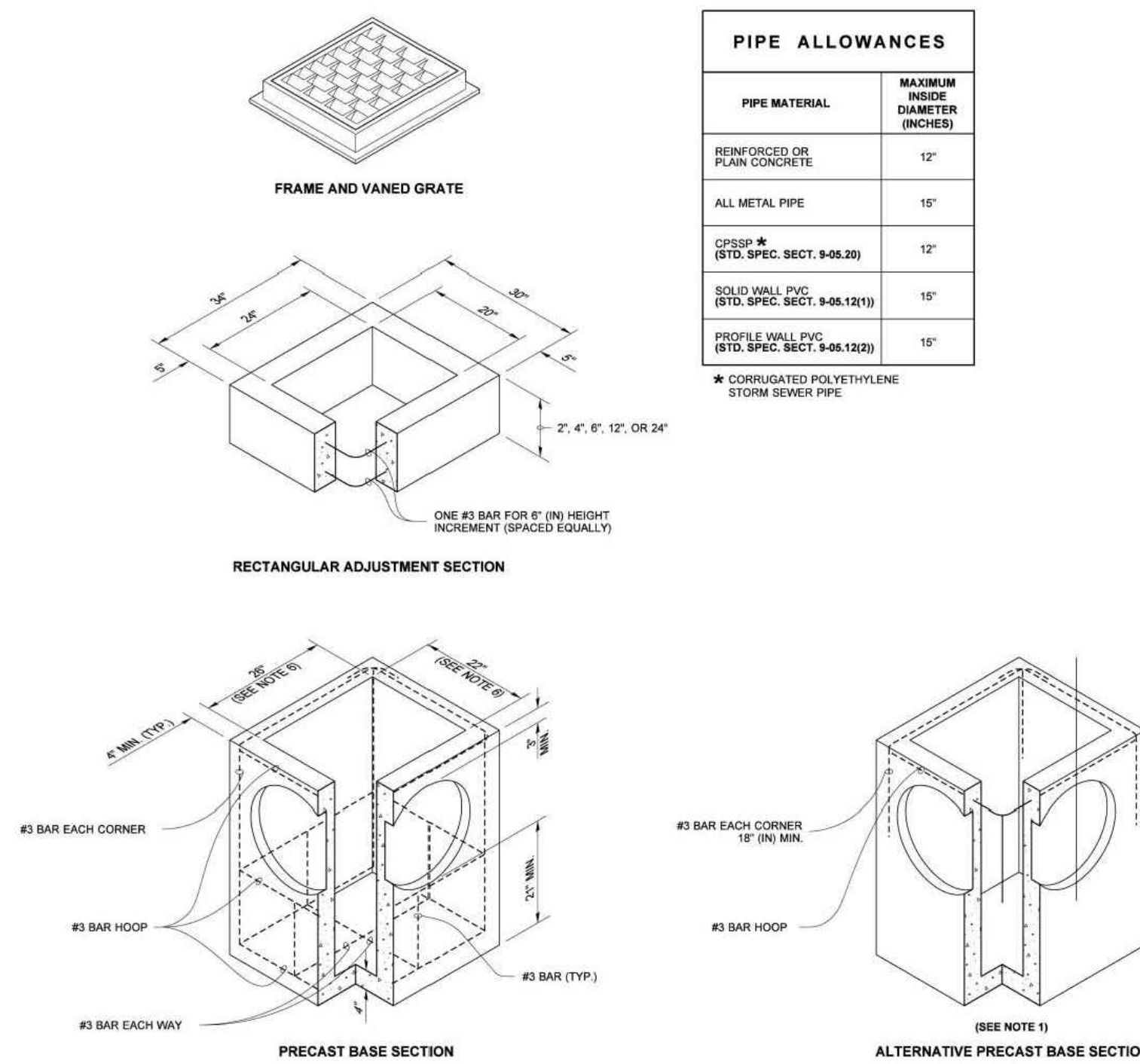


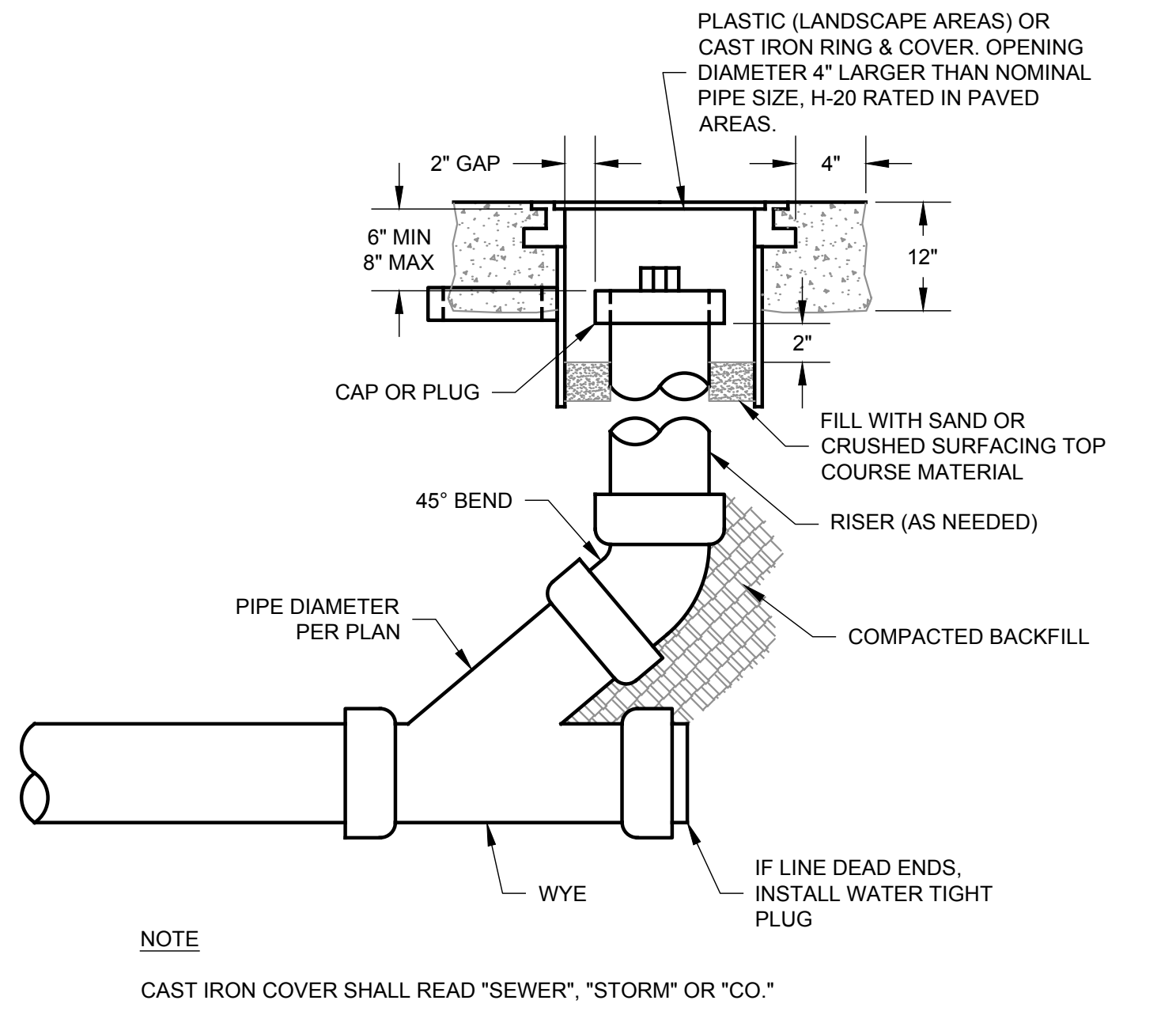
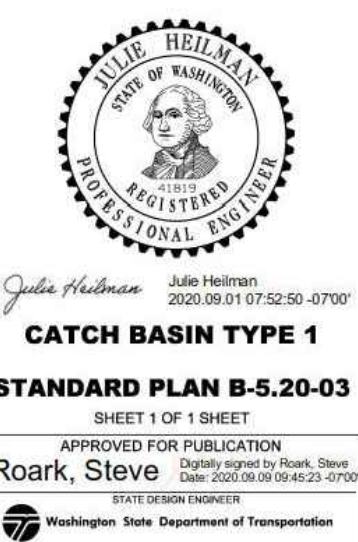
Figure V-5.3.3
Planting Bed Cross-Section

DEPARTMENT OF ECOLOGY
State of Washington
Revised January 2016
Please see <http://www.ecy.wa.gov/copyright.html> for copyright notice including permissions, limitation of liability, and disclaimer.

POST CONSTRUCTION SOIL QUALITY AND DEPTH (F)
NOT TO SCALE C01, C02



CATCH BASIN TYPE 1
NOT TO SCALE (G)
C02



STORM DRAIN & SEWER CLEANOUT (H)
NOT TO SCALE C02, C03

REVISION
BY
DATE
NO.

8/11/2022 J.L.
7/25/2023 J.L.

CYCLE 1 CITY REVIEW COMMENTS
CYCLE 2 CITY REVIEW COMMENTS

LEED ACCREDITED PROFESSIONALS & THE RELATED ACRONYMS & THE FULLY ACCREDITED LEED PROFESSIONALS OWNED BY THE U.S. GREEN BUILDING COUNCIL & ARE AWARDED TO INDIVIDUALS UNDER LICENSE BY THE GREEN BUILDING CERTIFICATION INSTITUTE.

9706 4th Ave NE
Suite 300
Seattle, WA 98115
P: 206.525.0024
F: 206.525.1012
www.dcgengr.com

DCG
civil structural

CALL 811
2 BUSINESS DAYS
BEFORE YOU DIG
UNDERGROUND UTILITY LOCATIONS ARE APPROX.

Benjamin J. Hillman
Professional Engineer
License No. 2023.08.08.0725
REG. EXPIRES 08/08/25

BASE MAP/TOPOGRAPHY PROVIDED BY OTHERS. DCG CANNOT BE HELD LIABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES, & ALL OTHER EX FEATURES & CONDITIONS. IF CONDITIONS ARE NOT AS SHOWN, OUR PLANS CANNOT BE CONSTRUCTED AS SHOWN. CONTACT DCG PRIOR TO CONSTRUCTION.

OWNER:
PROJECT:
PROJ. MANAGER:
DESIGNED BY:
DRAWN BY:
CHECKED BY:
SCALE:
DATE:
SHEET:
OF:

MIST LLC - ATTN: FERAS ALROUK
7683 SE 27TH ST, UNIT #418
MERCER ISLAND, WA 98040
4045 WEST MERCER WAY
MERCER ISLAND, WA 98040

BI
J.L.
GS
BI
AS SHOWN
7/25/2023
2
8
OF
10

SHEET NUMBER
C09

CAD FILE NUMBER: P:\CLIENTS\CIVIL\MCCLELLAN ARCHITECTS\4045 WEST MERCER WAY\MERCER ISLAND\DWG\BP PLANS\DWG
LAST MODIFIED BY: JACK - SAVE DATE: 7/25/2023 3:51 PM - SHEET SET: 4045 WEST MERCER WAY BP PLANS - ORIGINAL SHEET SIZE: ARCH FULL BLEED D (36.00 X 24.00 INCHES)
AUTOCAD VERSION: CIVIL 3D 2017

DISCONNECTION

WHEN DEMOLISHING AN EXISTING BUILDING, THE BUILDING SIDE SEWER SHALL BE DISCONNECTED PRIOR TO REMOVAL OF BUILDING FOUNDATIONS. THE CONTRACTOR SHALL INSTALL A MECHANICAL PLUG WITH NON-SHRINK GROUT AT THE END OF THE SIDE SEWER TO REMAIN IN PLACE. DISCONNECTION SHALL BE PERFORMED IN THE PRESENCE OF THE CITY'S UTILITY INSPECTOR. THE CONTRACTOR SHALL PROVIDE AN AS-BUILT DRAWING DEPICTING THE DISCONNECTED SIDE SEWER UPON COMPLETION OF THE WORK.

RECONNECTION

WHEN RECONNECTING TO AN EXISTING SIDE SEWER, THE POINT OF RECONNECTION WILL BE DETERMINED BASED ON THE MAINTENANCE OF THE CONSTRUCTION ON THE PROPERTY.

- PARTIAL INTERIOR REMODEL AND/OR BUILDING ADDITION - NO SIDE SEWER REPLACEMENT REQUIRED UNLESS A KNOWN PROBLEM EXISTS IN THE SIDE SEWER.
- COMPLETE INTERIOR REMODEL OF RESIDENCE - ASSESS CONDITION OF EXISTING SIDE SEWER THROUGH VIDEO INSPECTION FROM BUILDING TO PROPERTY LINE AND REPLACE AS NEEDED. IF EXISTING SIDE SEWER IS ASBESTOS CEMENT OR CONCRETE, SIDE SEWER SHALL BE REPLACED FROM BUILDING TO PROPERTY LINE, UNLESS THE APPLICANT PROVES, TO THE SATISFACTION OF THE CITY ENGINEER, THAT THE SIDE SEWER IS WATER TIGHT AND IN SOUND CONDITION.
- COMPLETE INTERIOR REMODEL AND BUILDING ADDITION - NEW SIDE SEWER FROM BUILDING TO PROPERTY LINE.
- CONSTRUCTION OF A NEW SINGLE FAMILY RESIDENCE - NEW SIDE SEWER FROM BUILDING TO PROPERTY LINE.
- BACK WATER VALVE INSTALLATION PER CITY ENGINEER, IF SCENARIO 2, 3 OR 4 IS DIRECTLY ATTACHED TO THE LAKE LINE.

VIDEO INSPECTION OF THE EXISTING SIDE SEWER, BETWEEN THE PROPERTY LINE AND THE SEWER MAIN SHALL BE PERFORMED FOR SCENARIOS NUMBER 3 AND 4.

PROVIDE A COPY OF THE VIDEO DOCUMENTATION TO THE CITY ENGINEER.

REPLACEMENT OR REPAIR OF THAT PORTION OF THE SIDE SEWER BETWEEN THE PROPERTY LINE AND THE SEWER MAIN, WILL BE DETERMINED BY THE CITY ENGINEER, BASED ON THE VIDEO INSPECTION.

IF THE EXISTING SIDE SEWER IS PVC AND IS LESS THAN TEN YEARS OLD, THE SIDE SEWER DOES NOT HAVE TO BE REPLACED IF A VIDEO INSPECTION AND HYDROSTATIC PRESSURE TEST CONFIRMS THAT THE SIDE SEWER IS IN PROPER WORKING CONDITION. THESE TESTS SHALL BE PERFORMED AFTER ALL HEAVY EQUIPMENT THAT COULD DAMAGE THE SIDE SEWER IS OFF OF THE SITE.

CITY OF MERCER ISLAND
STANDARD DETAILS
SEWER
RESIDENTIAL SIDE SEWER
DISCONNECTION & RECONNECTION
6-5-2009 NO SCALE **S-22**
APPROVED

GEOTECH
CONSULTANTS, INC.

SHORING DRAIN DETAIL
4045 West Mercer Way
Mercer Island, Washington
Job No: 21026 Date: May 2021 Plate: 6

CITY OF MERCER ISLAND
STANDARD DETAILS
SEWER
BACKFLOW PREVENTION
FOR JOINT USE SIDE SEWER
(4\"/>

CITY OF MERCER ISLAND
STANDARD DETAILS
SEWER
LAKE LINE CLEANOUT &
BACK WATER VALVE ASSEMBLY
INSTALLATION ABOVE
HYDRAULIC GRADIENT
6-5-2009 NO SCALE **S-23**
APPROVED

CITY OF MERCER ISLAND
STANDARD DETAILS
SEWER
REDUCED PRESSURE BACKFLOW
ASSEMBLY
NOT TO SCALE **C04 & C07**

RESIDENTIAL SIDE SEWER NOTES
NOT TO SCALE **C01**

SHORING DRAIN DETAIL
NOT TO SCALE **C02**

BACKFLOW PREVENTION
NOT TO SCALE **C03**

LAKE LINE CLEANOUT & BACKWATER
ASSEMBLY INSTALLATION ABOVE
HYDRAULIC GRADIENT
NOT TO SCALE **C03**

REDUCED PRESSURE BACKFLOW
ASSEMBLY
NOT TO SCALE **C04 & C07**

CITY OF MERCER ISLAND
STANDARD DETAILS
WATER
1-1/2\"/>

WATER SERVICE SIZE	PART NO.	A	B	C	D	E
1"	MSBCF1324-12	13.75"	23.1875"	12"	12.125"	24.5"
2"	MSBC1730-18	17.625"	30.5"	18"	22.875"	35"

CITY OF MERCER ISLAND
STANDARD DETAILS
WATER
1\"/>

WATER SERVICE SIZE	PART NO.	A	B	C	D	E
1"	MSBCF1324-12	13.75"	23.1875"	12"	12.125"	24.5"
2"	MSBC1730-18	17.625"	30.5"	18"	22.875"	35"

CITY OF MERCER ISLAND
STANDARD DETAILS
WATER
WATER METER PLACEMENT
3-20-2006 NO SCALE **W-16**
APPROVED

CATCH BASIN DIMENSIONS					
CATCH BASIN DIAMETER	MIN. WALL THICKNESS	MIN. BASE THICKNESS	MAXIMUM KNOCKOUT SIZE	MINIMUM DISTANCE BETWEEN KNOCKOUTS	
48"	4"	6"	36"	8"	
54"	4.5"	8"	42"	8"	
60"	5"	8"	48"	8"	
72"	6"	8"	60"	12"	
84"	8"	12"	72"	12"	
96"	8"	12"	84"	12"	
120"	10"	12"	96"	12"	
144"	12"	12"	108"	12"	

PIPE ALLOWANCES					
CATCH BASIN DIAMETER	PIPE MATERIAL WITH MAXIMUM INSIDE DIAMETER	CONCRETE ALL METAL	CPSP PP	SOLID WALL PVC	PROFILE WALL PVC
48"	24"	30"	24"	30"	30"
54"	30"	36"	30"	36"	36"
60"	36"	42"	36"	42"	42"
72"	42"	54"	42"	48"	48"
84"	54"	60"	54"	48"	48"
96"	60"	72"	60"	48"	48"
120"	66"	84"	66"	48"	48"
144"	78"	96"	66"	48"	48"

CITY OF MERCER ISLAND
STANDARD DETAILS
WATER
CATCH BASIN TYPE 2
STANDARD PLAN B-10.20-02
SHEET 1 OF 1 SHEET
APPROVED FOR PUBLICATION
Washington State Department of Transportation

1-1/2\"/>

PLASTIC METER BOX
NOT TO SCALE **C04 & C05**

WATER METER PLACEMENT
NOT TO SCALE **C04 & C05**

CATCH BASIN TYPE 2
NOT TO SCALE **C02**

REVISION

NO.	DATE	BY	REVISION
1	8/01/2022	JL	CYCLE 1 CITY REVIEW COMMENTS
2	7/25/2023	JL	CYCLE 2 CITY REVIEW COMMENTS

9706 4th Ave NE
Suite 300
Seattle, WA 98115
P: 206.525.0024
F: 206.525.1072
www.dcgengr.com

DCG
civil structural

CALL 811
2 BUSINESS DAYS
BEFORE YOU DIG
UNDERGROUND UTILITY LOCATIONS ARE APPROX.

BENJAMIN J. IDELL
Professional Engineer
No. 230725
Expires 07/24/2026
REGISTERED ENGINEER

BASE MAP TOPOGRAPHY PROVIDED BY OTHERS. DCG CANNOT BE HELD LIABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES, & ALL OTHER EX FEATURES & CONDITIONS. IF CONDITIONS ARE NOT AS SHOWN, SOI PLANS CANNOT BE CONSTRUCTED AS SHOWN. CONTACT DCG PRIOR TO CONSTRUCTION.

OWNER: MIST LLC- ATTN: FERAS ALROUK
7683 SE 27TH ST, UNIT #418
MERCER ISLAND, WA 98040

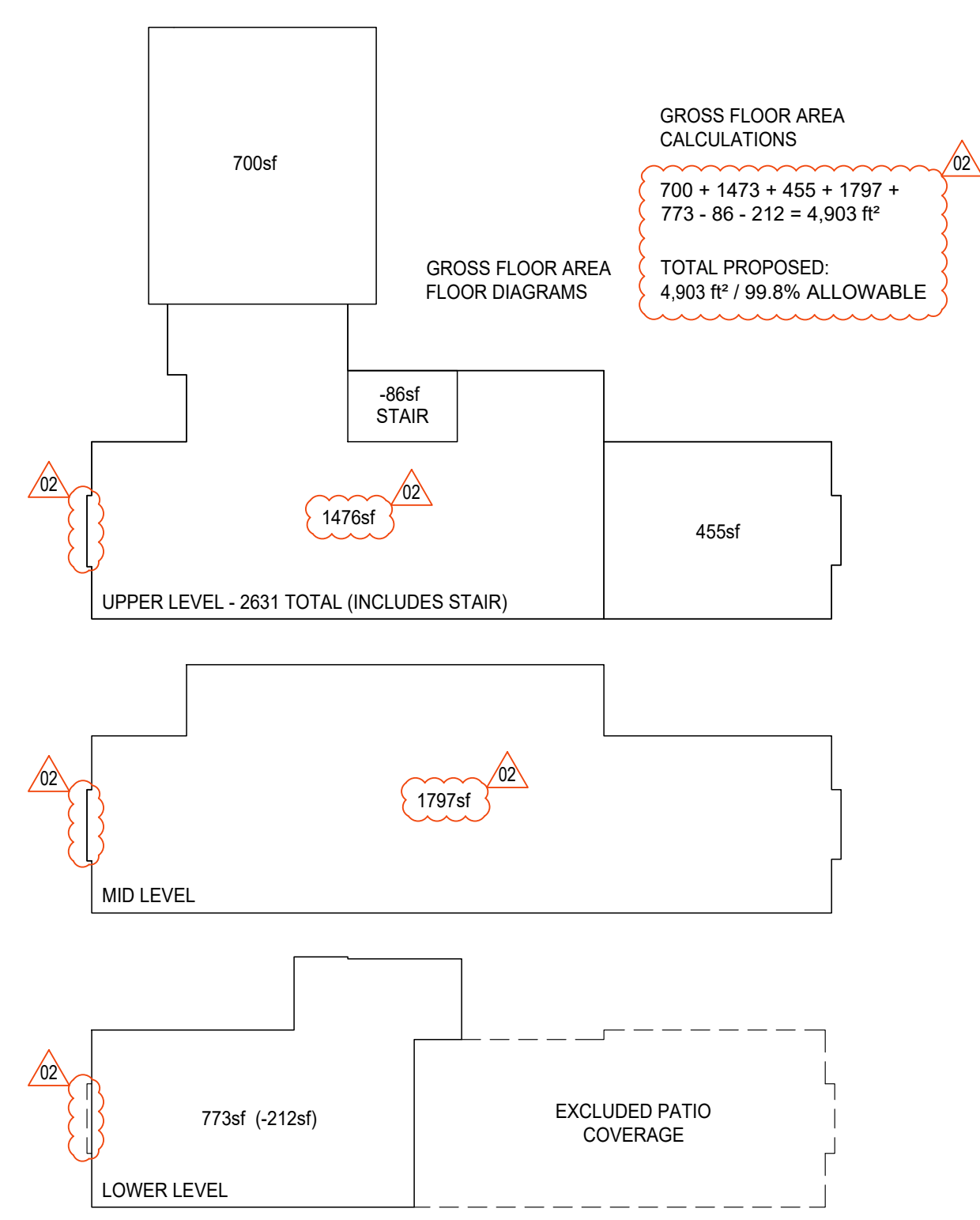
PROJECT: 4045 WEST MERCER WAY
MERCER ISLAND, WA 98040
DETAILS

PROJ. MANAGER: BI
DESIGNED BY: JL
DRAWN BY: GS
CHECKED BY: BI

SCALE: AS SHOWN
DATE: 7/25/2023
REV: 2
SHEET: 10 OF 10

C10

CAD FILE NUMBER: P:\CLIENTS\CIVIL\MCCOLLAN ARCHITECTS\4045 WEST MERCER WAY\MERCER ISLAND_BP PLANS.DWG
LAST MODIFIED BY: JACK - SAVE DATE: 7/25/2023 3:51 PM - SHEET SET: 4045 WEST MERCER WAY_BP PLANS - ORIGINAL SHEET SIZE: ARCH FULL BLEED D (36.00 X 24.00 INCHES)
AUTOCAD VERSION: CIVIL 3D 2017

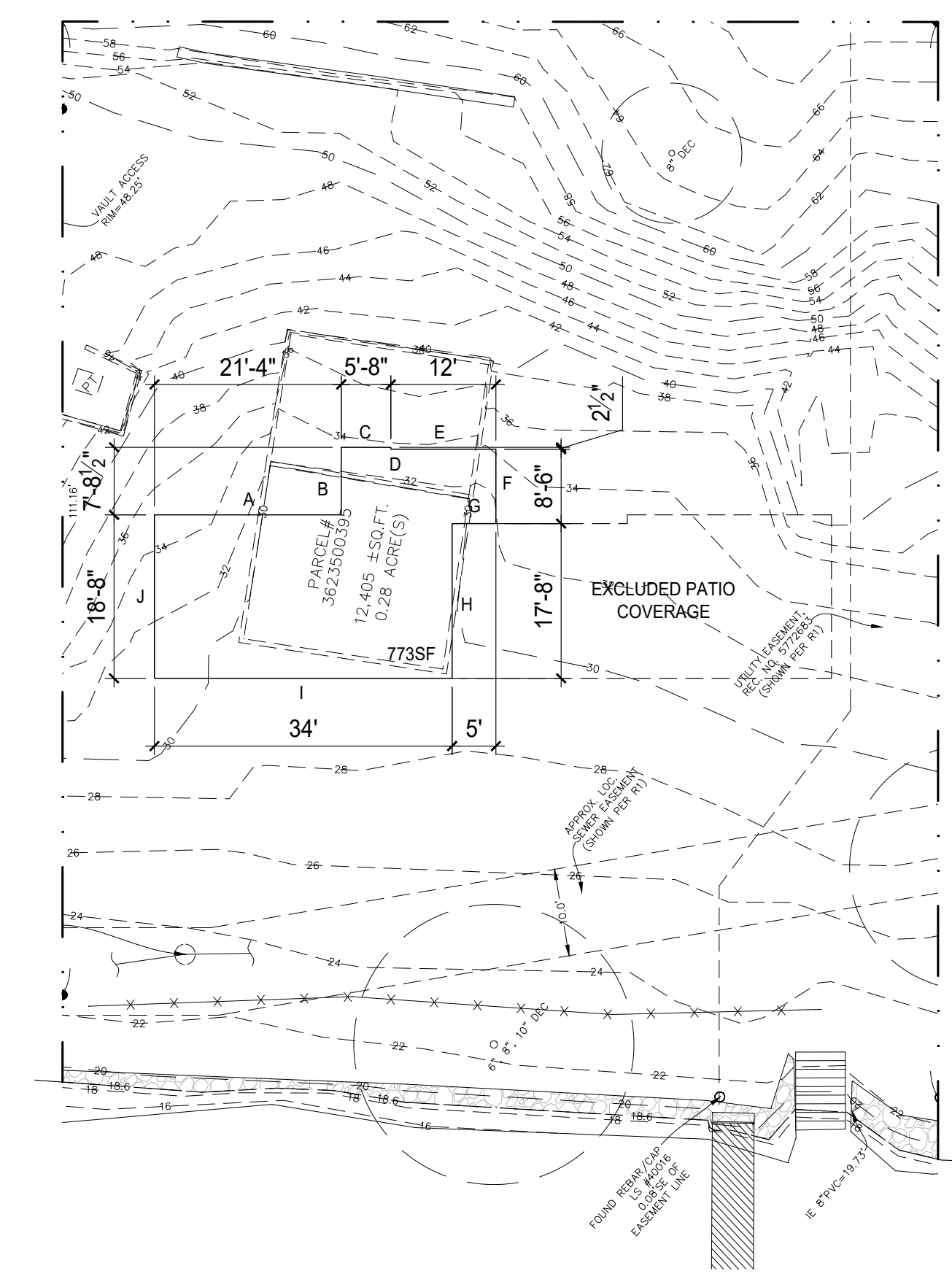


GROSS FLOOR AREA CALCULATIONS

700 + 1473 + 455 + 1797 + 773 - 86 - 212 = 4,903 ft²

TOTAL PROPOSED: 4,903 ft² / 99.8% ALLOWABLE

1 GROSS FLOOR AREA
SCALE: 1/16"=1'-0"



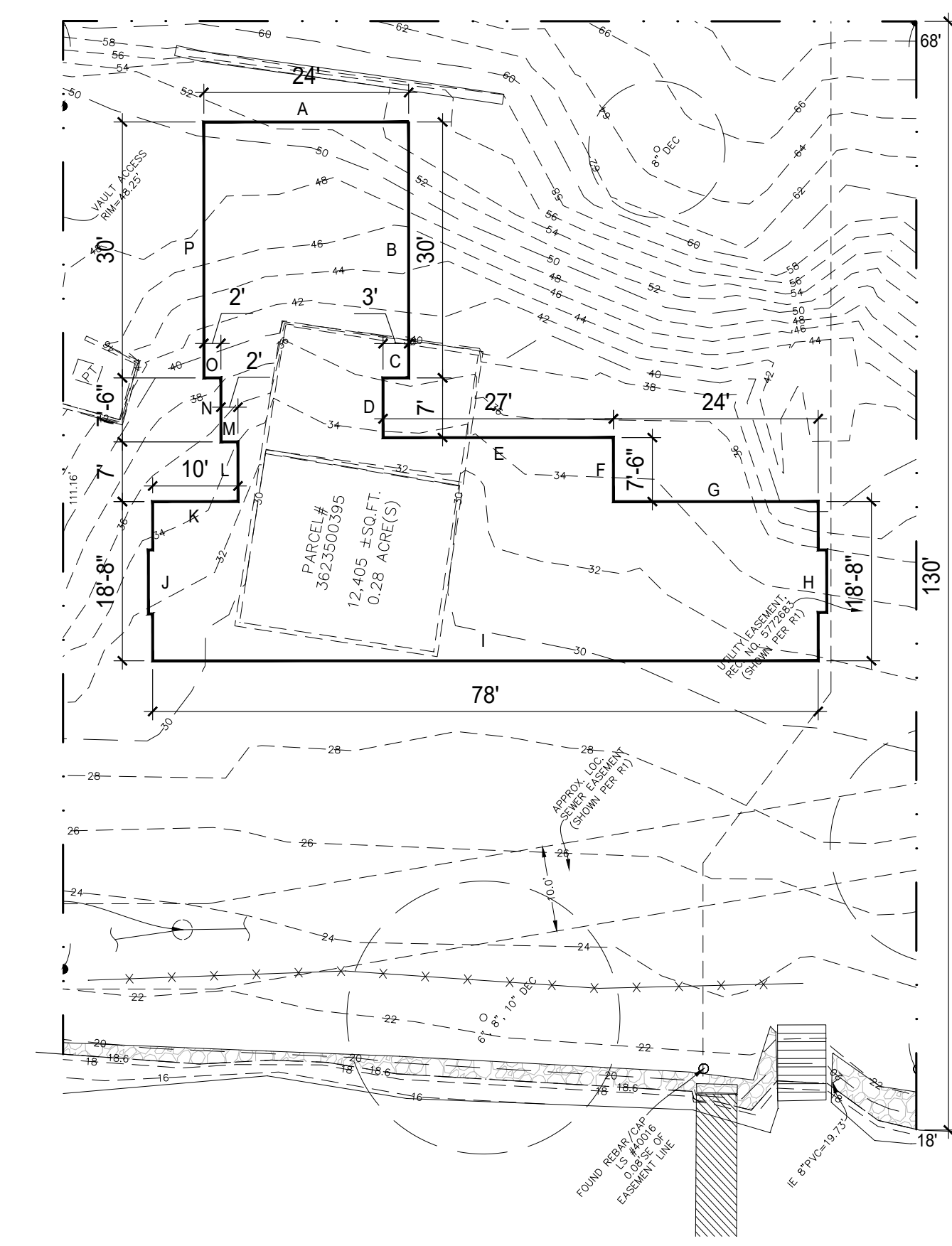
GROSS FLOOR AREA CALCULATIONS

A	21.3'	40%	=	8.5'
B	7.7'	20%	=	1.5'
C	5.6'	50%	=	2.8'
D	2'	50%	=	.1'
E	12'	50%	=	6'
F	8.5'	50%	=	4.2'
G	5'	0%	=	0'
H	17.6'	0%	=	0'
I	34'	10%	=	3.4'
J	18.6'	50%	=	9.3'

35.8/130.5 = 27.4%
773sf x 25.8% = 212sf excluded

*WALL HEIGHT IS 10FT
**BASEMENT FFE IS 28'

2 GFA BASEMENT CALCS
SCALE: 1/16"=1'-0"



LOT SLOPE CALCULATIONS

HIGHEST POINT = 68'
LOWEST POINT = 18'
ELEVATION Δ = 50'
HORIZONTAL Δ = 130'

68 - 18 = 50 / 130 = 0.385

LOT SLOPE = 38.5%

AVERAGE BUILDING ELEVATION CALCULATIONS

(52.5 x 24) + (45 x 30) + (36 x 3) + (35 x 7) + (34.5 x 27) + (34.5 x 7.5) + (35 x 24) + (34.5 x 18.8) + (29.5 x 78) + (33 x 18.6) + (34.5 x 10) + (33 x 7) + (34.5 x 2) + (37 x 7.5) + (38.5 x 2) + (47 x 30) = 10,959.25

24 + 30 + 3 + 7 + 27 + 7.5 + 24 + 18.6 + 78 + 18.6 + 10 + 7 + 2 + 7.5 + 2 + 30 = 296.2

A.B.E. = 36.99' MAX HEIGHT = 66.99'

3 ABE & SLOPE CALCS
SCALE: 1/16"=1'-0"

GROSS FLOOR AREA

PERMITTED:	4,915 ft ² / 40%
PROPOSED:	
UPPER LEVEL*	2,176 ft ²
MID LEVEL =	1,797 ft ²
LOWER LEVEL =	773 ft ²
UPPER LEVEL TERRACE =	455 ft ²
TOP STAIR EXEMPTION =	-86 ft ²
BASEMENT EXEMPTION =	-212 ft ²
TOTAL PROPOSED:	4,903 ft² / 39.9%

*INCLUDES GARAGE

DEVELOPMENT SUMMARY

SITE AREA:	12,289 ft ²
LOT COVERAGE:	30% = 3,686 ft ²
GROSS FLOOR AREA:	40% = 4,915 ft ²
FRONT YARD*:	20 ft
SIDE YARDS:	10 ft each
REAR YARD:	50 ft from OHWM
BUILDING HEIGHT:	30 ft above ABE
A.B.E.:	36.99'

*FRONT YARD IS OPPOSITE P.L. PARALLEL TO OHWM

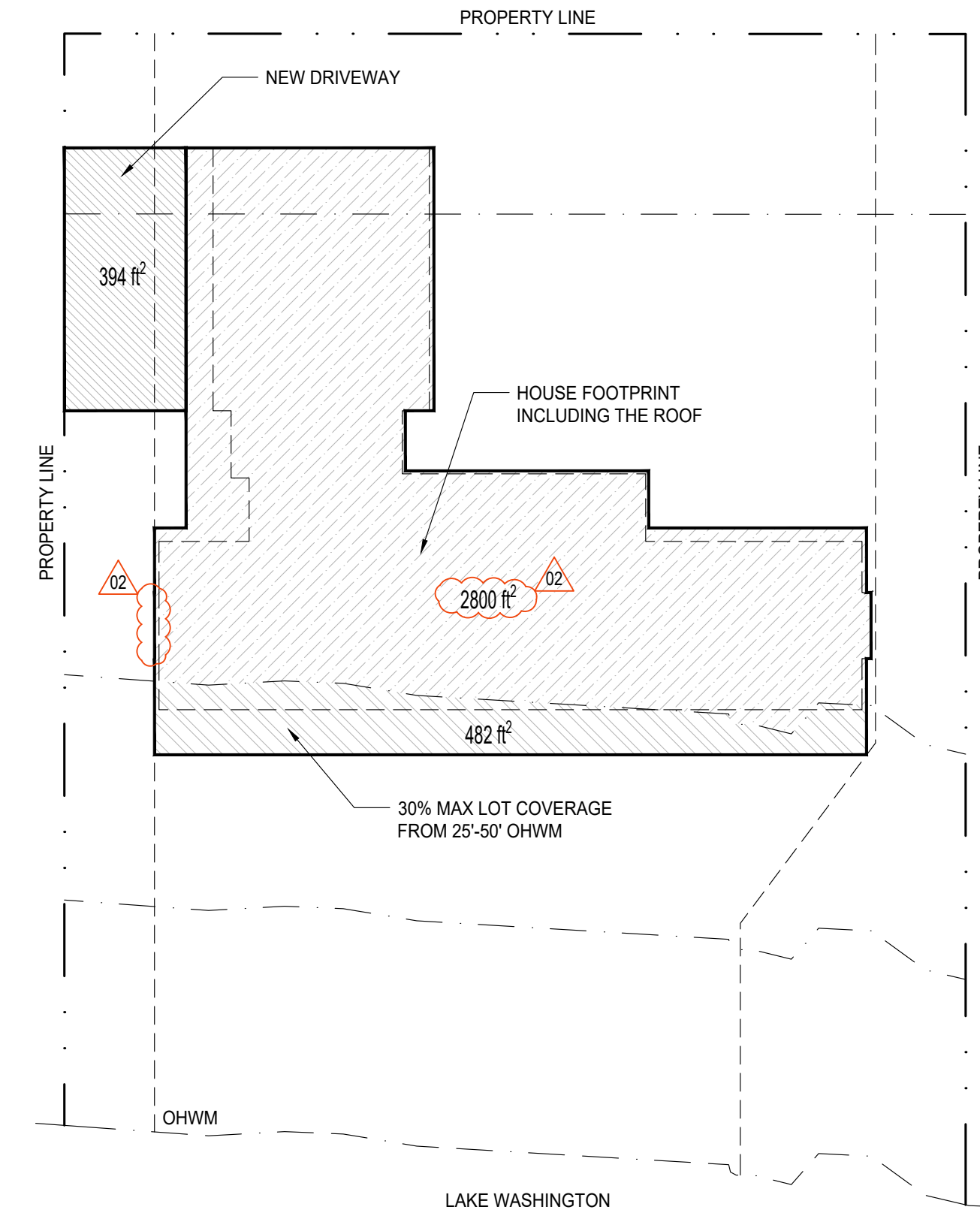
SQUARE FOOTAGE CALCULATIONS

LOWER LEVEL GROSS	= 773 ft ²
MID LEVEL GROSS	= 1,797 ft ²
UPPER LEVEL GROSS	= 1,476 ft ²
GARAGE GROSS	= 700 ft ²
COMBINED TOTAL GROSS	= 4,746 ft²

OUTDOOR SPACES

COVERED UPPER TERRACE	= 455 ft ²
COVERED LOWER PATIO*	= 789 ft ²
UNCOVERED COURTYARD*	= 392 ft ²
TOTAL OUTDOOR SPACES	= 1,636 ft²

*EXEMPT FROM GFA



LOT COVERAGE CALCULATIONS

394 ft² - DRIVEWAY

2,800 ft² - HOUSE

482 ft² - HOUSE IN SETBACK

TOTAL PROPOSED: 3,676 ft² / 99.7% ALLOWABLE

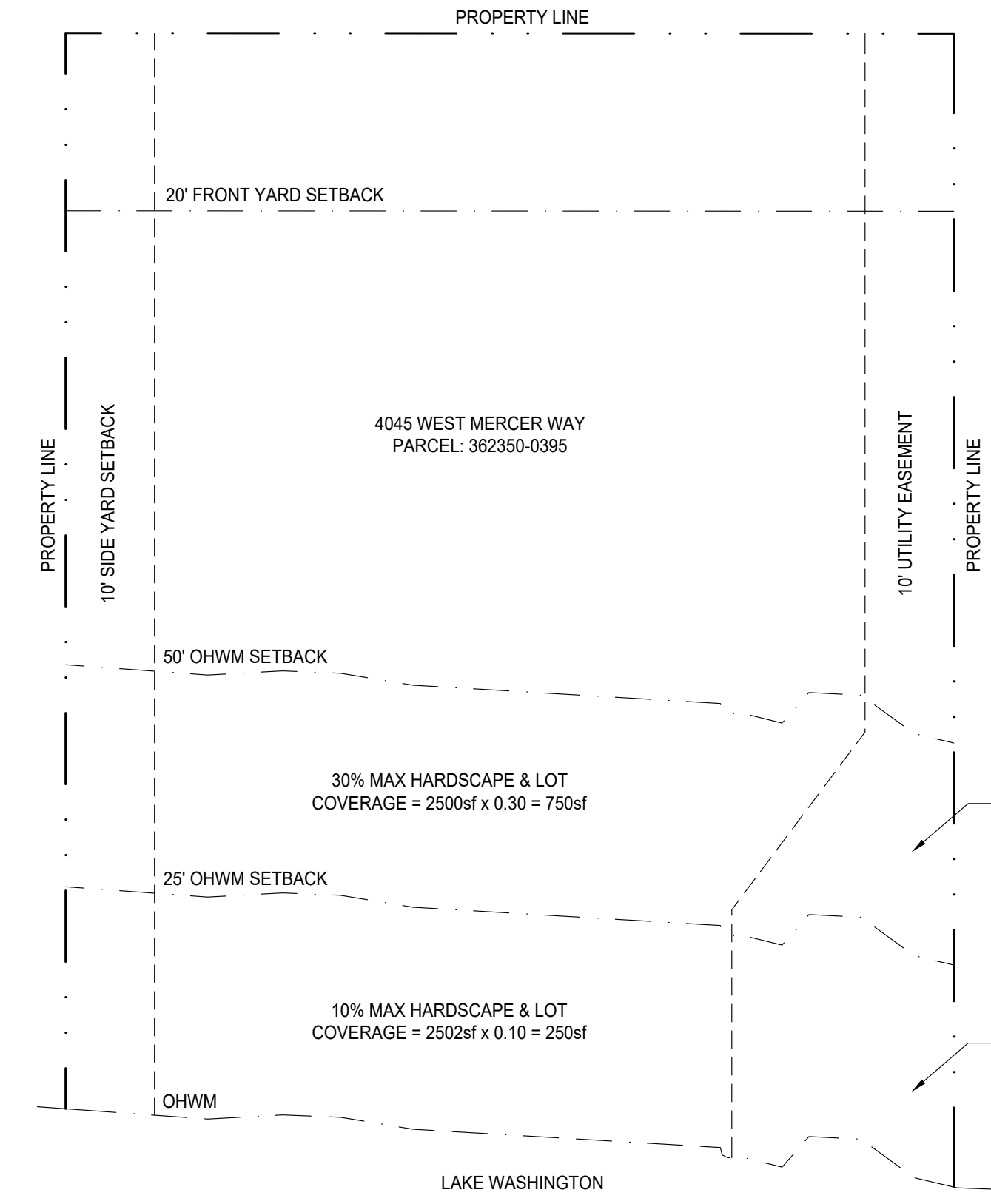
LOT COVERAGE CALCS 0'-25'

ALLOWABLE = 10% (250SF)
PROPOSED = 0% (0SF)

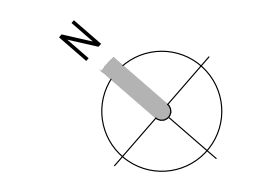
LOT COVERAGE CALCS 25'-50'

ALLOWABLE = 30% (750SF)
PROPOSED = 19% (482SF)

4 LOT COVERAGE
SCALE: 1/16"=1'-0"



5 BUILDING ENVELOPE
SCALE: 1/16"=1'-0"



GROSS FLOOR AREA	
PERMITTED:	4,915 ft ² / 40%
PROPOSED:	
UPPER LEVEL*	2,176 ft ²
MID LEVEL =	1,797 ft ²
LOWER LEVEL =	773 ft ²
UPPER LEVEL TERRACE =	455 ft ²
TOP STAIR EXEMPTION =	-86 ft ²
BASEMENT EXEMPTION =	-212 ft ²
TOTAL PROPOSED:	4,903 ft² / 39.9%

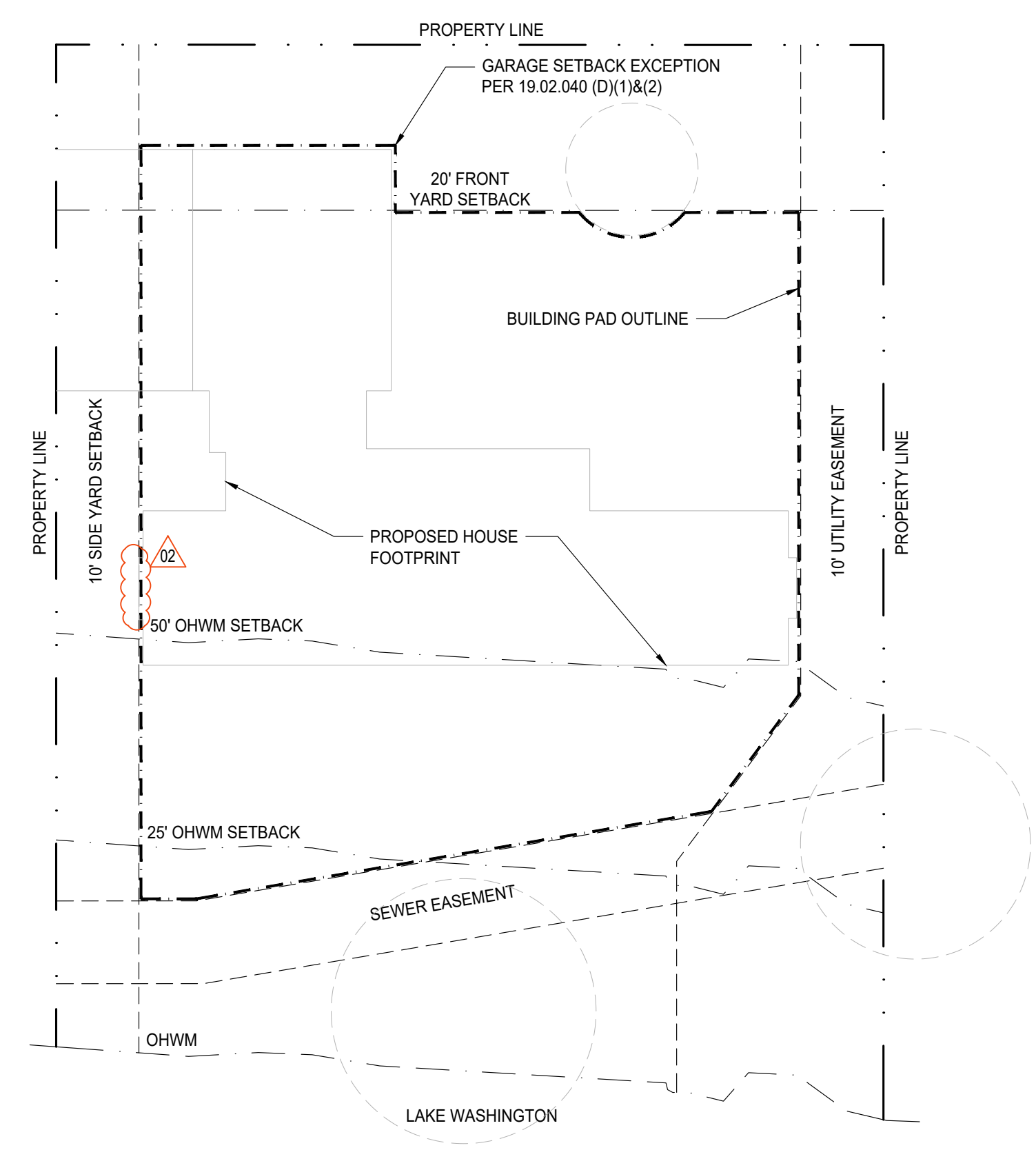
*INCLUDES GARAGE

DEVELOPMENT SUMMARY	
SITE AREA:	12,289 ft ²
LOT COVERAGE:	30% = 3,686 ft ²
GROSS FLOOR AREA:	40% = 4,915 ft ²
FRONT YARD*	20 ft
SIDE YARDS:	10 ft each
REAR YARD:	50 ft from OHWM
BUILDING HEIGHT:	30 ft above ABE
A.B.E.:	36.9'

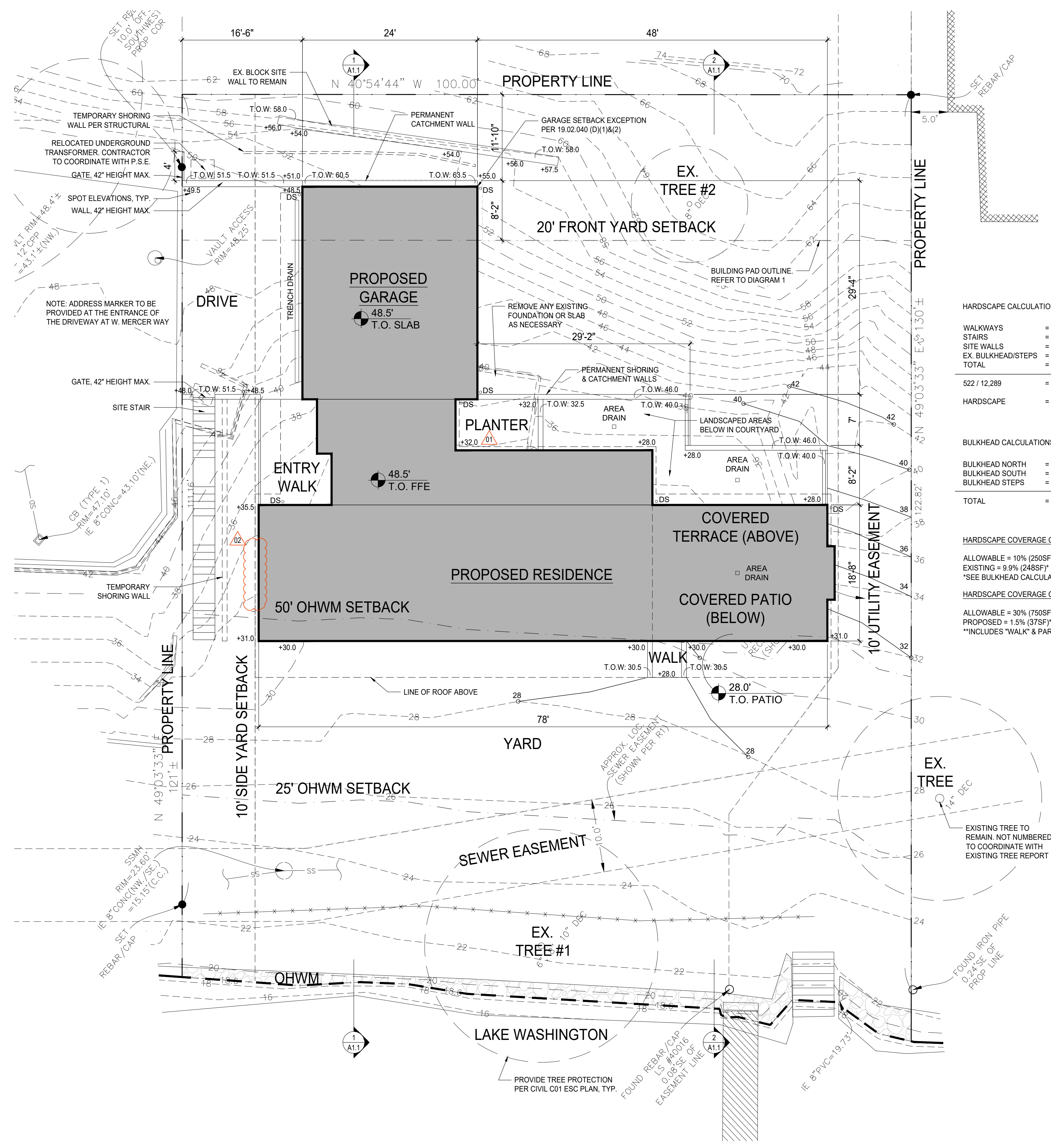
*FRONT YARD IS OPPOSITE P.L. PARALLEL TO OHWM

SQUARE FOOTAGE CALCULATIONS	
LOWER LEVEL GROSS	= 773 ft ²
MID LEVEL GROSS	= 1,797 ft ²
UPPER LEVEL GROSS	= 1,476 ft ²
GARAGE GROSS	= 700 ft ²
COMBINED TOTAL GROSS	= 4,746 ft²
OUTDOOR SPACES	
COVERED UPPER TERRACE	= 455 ft ²
COVERED LOWER PATIO*	= 789 ft ²
UNCOVERED COURTYARD*	= 392 ft ²
TOTAL OUTDOOR SPACES	= 1,636 ft²

*EXEMPT FROM GFA



1 BUILDING PAD DIAGRAM
SCALE: 1/16"=1'-0"



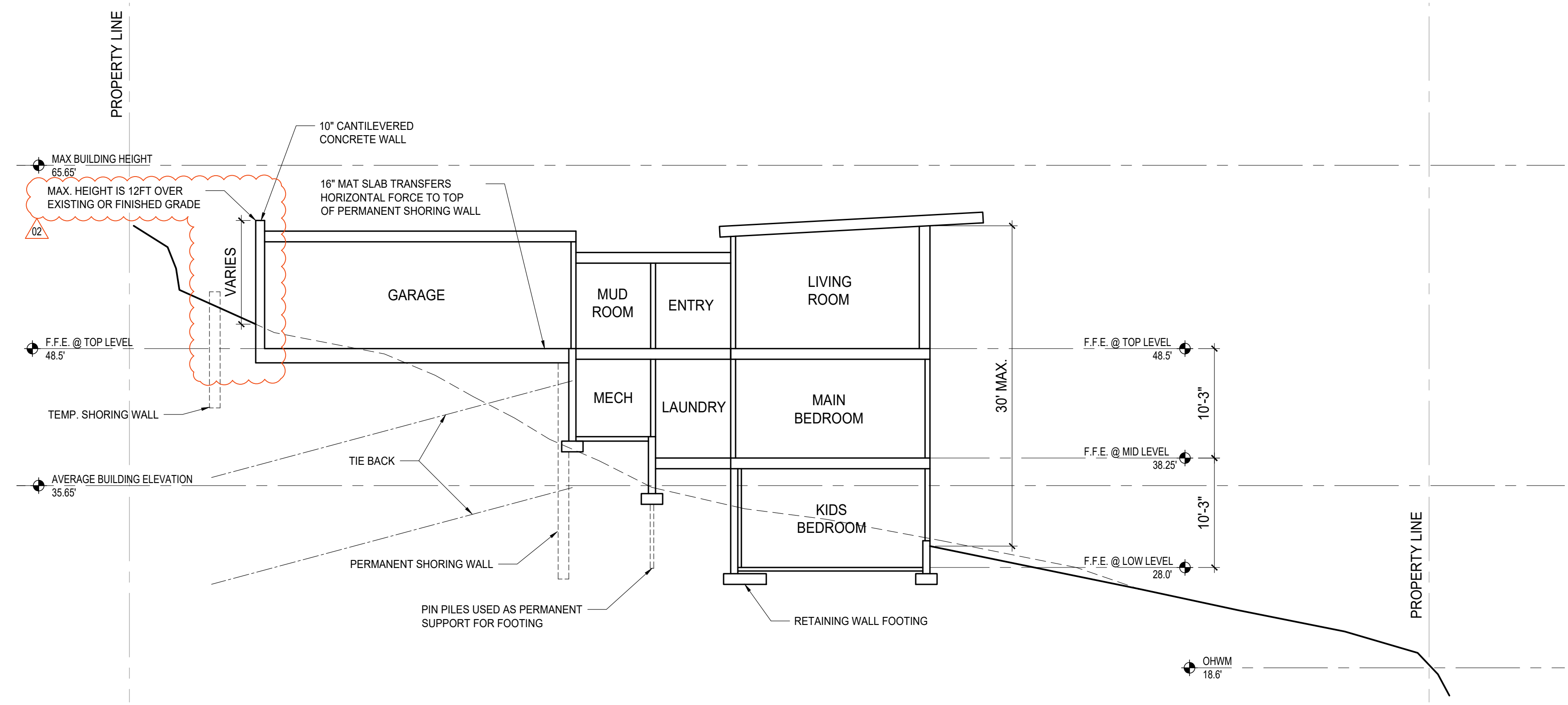
2 SITE PLAN
SCALE: 1/8"=1'-0"

HARDSCAPE CALCULATIONS	
WALKWAYS	= 43sf
STAIRS	= 99sf
SITE WALLS	= 132sf
EX. BULKHEAD/STEPS	= 248sf
TOTAL	= 522sf
522 / 12,289	= 0.042
HARDSCAPE	= 4.2%

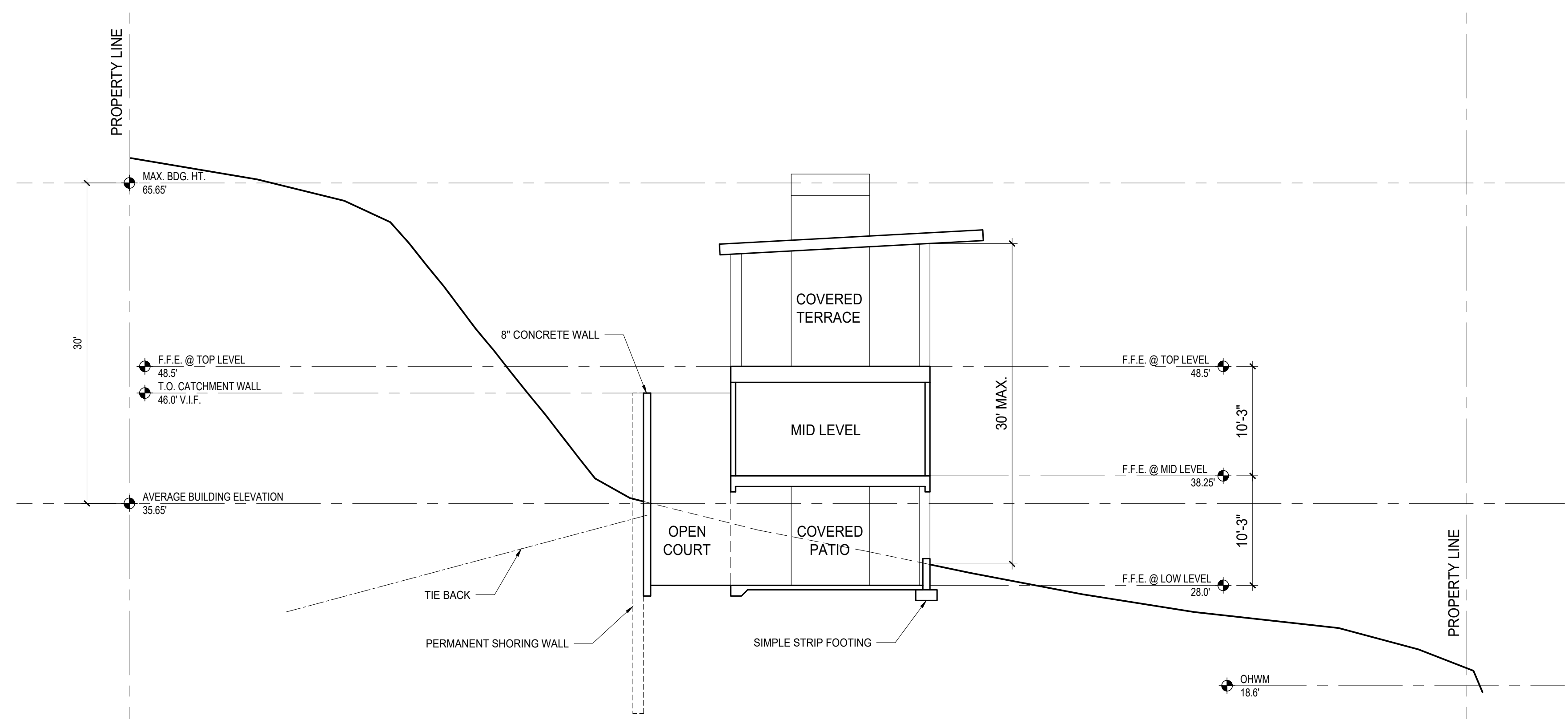
BULKHEAD CALCULATIONS	
BULKHEAD NORTH	= 157sf
BULKHEAD SOUTH	= 41sf
BULKHEAD STEPS	= 50sf
TOTAL	= 248sf

HARDSCAPE COVERAGE CALCS 0'-25'
ALLOWABLE = 10% (250SF)
EXISTING = 9.9% (248SF)
*SEE BULKHEAD CALCULATIONS ABOVE

HARDSCAPE COVERAGE CALCS 25'-50'
ALLOWABLE = 30% (750SF)
PROPOSED = 1.5% (37SF)
**INCLUDES "WALK" & PARTIAL SITE STAIR



1 SITE SECTION
SCALE: 1/8"=1'-0"



2 SITE SECTION
SCALE: 1/8"=1'-0"

PROJECT:
WESTVIEW RESIDENCE
4045 W MERCER WAY
MERCER ISLAND WA 98040

CLIENT:
MIST LLC

ISSUE:
PERMIT SUBMISSION 02.25.2022
PERMIT REVISIONS 1 08.12.2022
PERMIT REVISIONS 2 07.21.2023

DATE:
FEBRUARY 25, 2022

SHEET TITLE:
FLOOR PLANS

SHEET:

A2.1

DEVELOPMENT SUMMARY	
SITE AREA:	12,289 ft ²
LOT COVERAGE:	30% = 3,686 ft ²
GROSS FLOOR AREA:	40% = 4,915 ft ²
FRONT YARD:	20 ft
SIDE YARDS:	10 ft each
REAR YARD:	50 ft from OHWM
BUILDING HEIGHT:	30 ft above ABE
A.B.E.:	35.65'

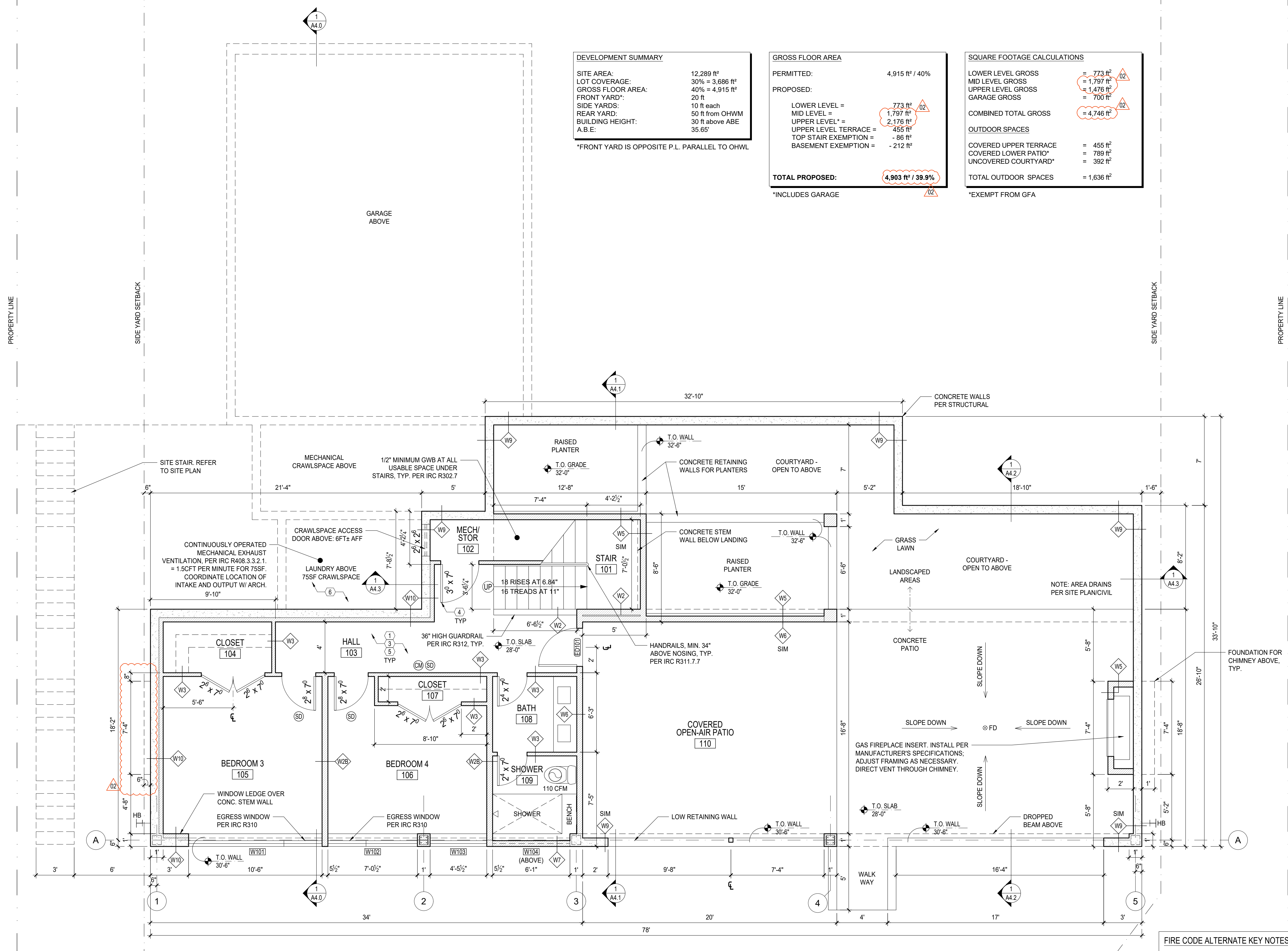
*FRONT YARD IS OPPOSITE P.L. PARALLEL TO OHWL

GROSS FLOOR AREA	
PERMITTED:	4,915 ft ² / 40%
PROPOSED:	
LOWER LEVEL =	773 ft ²
MID LEVEL =	1,797 ft ²
UPPER LEVEL* =	2,176 ft ²
UPPER LEVEL TERRACE =	455 ft ²
TOP STAIR EXEMPTION =	-86 ft ²
BASEMENT EXEMPTION =	-212 ft ²
TOTAL PROPOSED:	4,903 ft² / 39.9%

*INCLUDES GARAGE

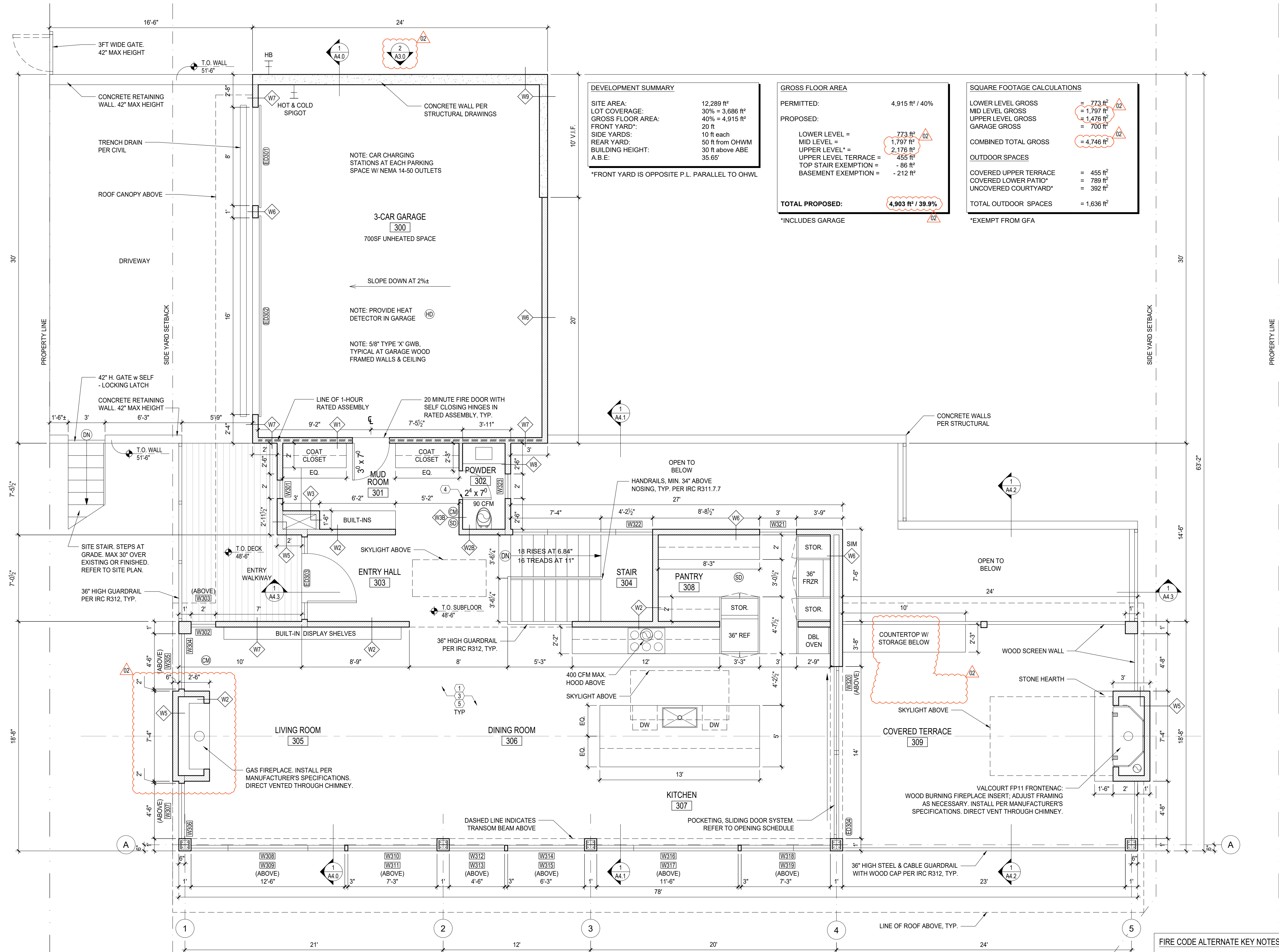
SQUARE FOOTAGE CALCULATIONS	
LOWER LEVEL GROSS	= 773 ft ²
MID LEVEL GROSS	= 1,797 ft ²
UPPER LEVEL GROSS	= 1,476 ft ²
GARAGE GROSS	= 700 ft ²
COMBINED TOTAL GROSS	= 4,746 ft²
OUTDOOR SPACES	
COVERED UPPER TERRACE	= 455 ft ²
COVERED LOWER PATIO*	= 789 ft ²
UNCOVERED COURTYARD*	= 392 ft ²
TOTAL OUTDOOR SPACES	= 1,636 ft²

*EXEMPT FROM GFA



1 LOWER LEVEL PLAN
SCALE: 1/4"=1'-0"

- FIRE CODE ALTERNATE KEY NOTES: (XX)
- HOME TO BE EQUIPPED WITH AND MEET ALL REQUIREMENTS OF A "NFPA 13R - PLUS" SPRINKLER SYSTEM.
 - UPGRADE TO A MINIMUM 1-1/2" WATER METER AND 2" SERVICE LINE.
 - PROVIDE A MONITORED "HOUSEHOLD FIRE ALARM SYSTEM" PER NFPA 72 CHAPTER 28.
 - PROVIDE SOLID CORE DOORS THROUGHOUT THE HOME.
 - PROVIDE 5/8" TYPE 'X' ONE-HOUR FIRE-RATED GYPSUM WALL BOARD IN ALL AREAS FOR WALLS AND CEILINGS.
 - PROVIDE FIRE RETARDANT COATING TREATMENT IN ALL CRAWLSPACES.



DEVELOPMENT SUMMARY

SITE AREA:	12,289 ft ²
LOT COVERAGE:	30% = 3,686 ft ²
GROSS FLOOR AREA:	40% = 4,915 ft ²
FRONT YARD*:	20 ft
SIDE YARDS:	10 ft each
REAR YARD:	50 ft from OHWM
BUILDING HEIGHT:	30 ft above ABE
A.B.E.:	35.65'

*FRONT YARD IS OPPOSITE P.L. PARALLEL TO OHWL

GROSS FLOOR AREA

PERMITTED:	4,915 ft ² / 40%
PROPOSED:	
LOWER LEVEL =	773 ft ²
MID LEVEL =	1,797 ft ²
UPPER LEVEL* =	2,176 ft ²
UPPER LEVEL TERRACE =	455 ft ²
TOP STAIR EXEMPTION =	- 86 ft ²
BASEMENT EXEMPTION =	- 212 ft ²
TOTAL PROPOSED:	4,903 ft² / 39.9%

*INCLUDES GARAGE

SQUARE FOOTAGE CALCULATIONS

LOWER LEVEL GROSS	= 773 ft ²
MID LEVEL GROSS	= 1,797 ft ²
UPPER LEVEL GROSS	= 1,476 ft ²
GARAGE GROSS	= 700 ft ²
COMBINED TOTAL GROSS	= 4,746 ft²
OUTDOOR SPACES	
COVERED UPPER TERRACE	= 455 ft ²
COVERED LOWER PATIO*	= 789 ft ²
UNCOVERED COURTYARD*	= 392 ft ²
TOTAL OUTDOOR SPACES	= 1,636 ft²

*EXEMPT FROM GFA

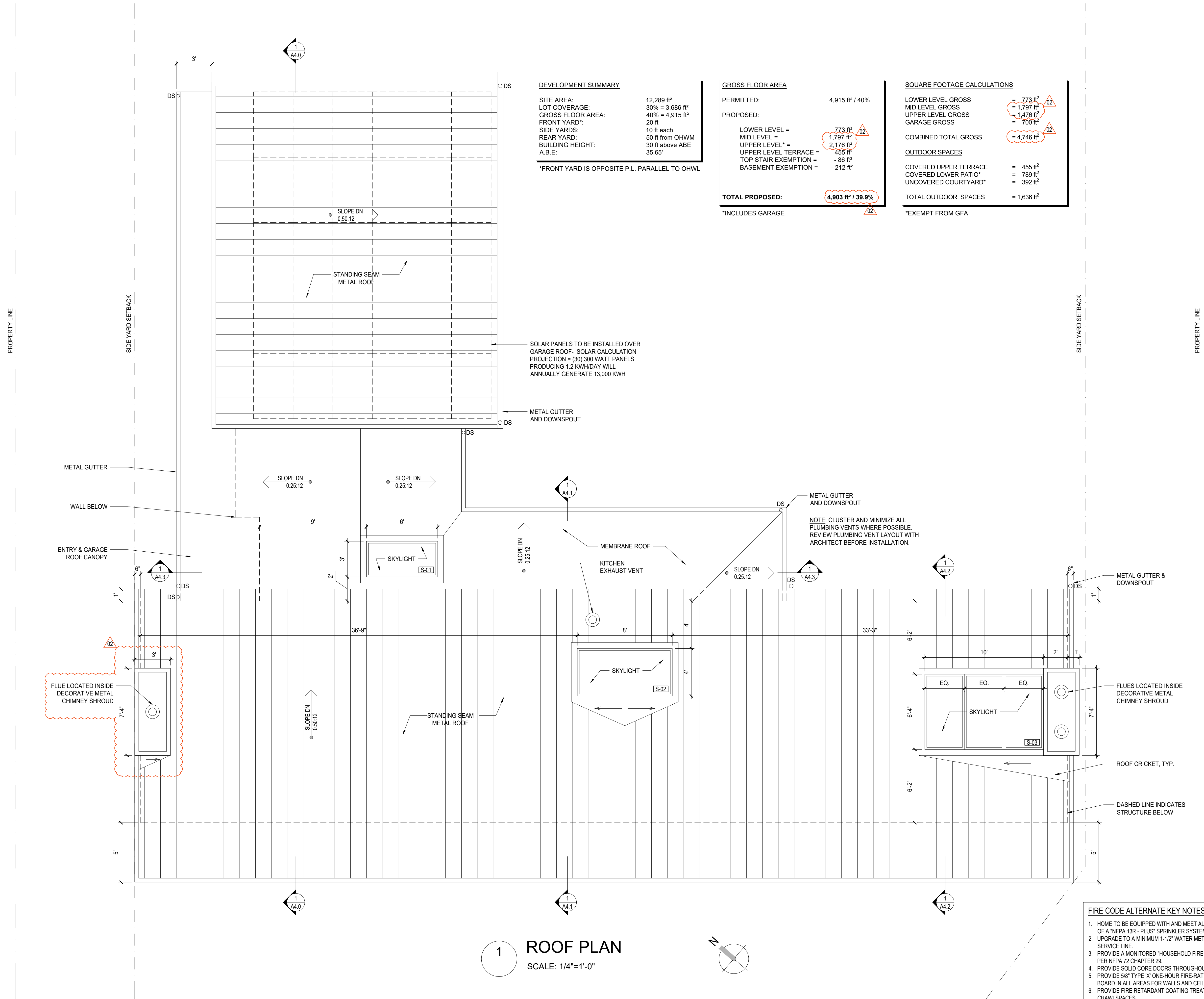
1 UPPER LEVEL PLAN
SCALE: 1/4"=1'-0"

- FIRE CODE ALTERNATE KEY NOTES:** (XX)
- HOME TO BE EQUIPPED WITH AND MEET ALL REQUIREMENTS OF A "NFPA 13R - PLUS" SPRINKLER SYSTEM.
 - UPGRADE TO A MINIMUM 1-1/2" WATER METER AND 2" SERVICE LINE.
 - PROVIDE A MONITORED "HOUSEHOLD FIRE ALARM SYSTEM" PER NFPA 72 CHAPTER 28.
 - PROVIDE SOLID CORE DOORS THROUGHOUT THE HOME.
 - PROVIDE 5/8" TYPE 'X' ONE-HOUR FIRE-RATED GYPSUM WALL BOARD IN ALL AREAS FOR WALLS AND CEILINGS.
 - PROVIDE FIRE RETARDANT COATING TREATMENT IN ALL CRAWLSPACES.

PROJECT:
WESTVIEW RESIDENCE
4045 W MERCER WAY
MERCER ISLAND WA 98040

CLIENT:
MIST LLC

ISSUE:
PERMIT SUBMISSION 02.25.2022
PERMIT REVISIONS 1 08.12.2022
PERMIT REVISIONS 2 07.21.2023



DEVELOPMENT SUMMARY

SITE AREA:	12,289 ft ²
LOT COVERAGE:	30% = 3,686 ft ²
GROSS FLOOR AREA:	40% = 4,915 ft ²
FRONT YARD*:	20 ft
SIDE YARDS:	10 ft each
REAR YARD:	50 ft from OHWM
BUILDING HEIGHT:	30 ft above ABE
A.B.E.:	35.65'

*FRONT YARD IS OPPOSITE P.L. PARALLEL TO OHWL

GROSS FLOOR AREA

PERMITTED:	4,915 ft ² / 40%
PROPOSED:	
LOWER LEVEL =	773 ft ²
MID LEVEL =	1,797 ft ²
UPPER LEVEL* =	2,176 ft ²
UPPER LEVEL TERRACE =	455 ft ²
TOP STAIR EXEMPTION =	-86 ft ²
BASEMENT EXEMPTION =	-212 ft ²
TOTAL PROPOSED:	4,903 ft² / 39.9%

*INCLUDES GARAGE

SQUARE FOOTAGE CALCULATIONS

LOWER LEVEL GROSS	= 773 ft ²
MID LEVEL GROSS	= 1,797 ft ²
UPPER LEVEL GROSS	= 1,476 ft ²
GARAGE GROSS	= 700 ft ²
COMBINED TOTAL GROSS	= 4,746 ft²
OUTDOOR SPACES	
COVERED UPPER TERRACE	= 455 ft ²
COVERED LOWER PATIO*	= 789 ft ²
UNCOVERED COURTYARD*	= 392 ft ²
TOTAL OUTDOOR SPACES	= 1,636 ft²

*EXEMPT FROM GFA

1 ROOF PLAN
SCALE: 1/4"=1'-0"

- FIRE CODE ALTERNATE KEY NOTES:** (XX)
- HOME TO BE EQUIPPED WITH AND MEET ALL REQUIREMENTS OF A "NFPA 13R - PLUS" SPRINKLER SYSTEM.
 - UPGRADE TO A MINIMUM 1-1/2" WATER METER AND 2" SERVICE LINE.
 - PROVIDE A MONITORED "HOUSEHOLD FIRE ALARM SYSTEM" PER NFPA 72 CHAPTER 28.
 - PROVIDE SOLID CORE DOORS THROUGHOUT THE HOME.
 - PROVIDE 5/8" TYPE "X" ONE-HOUR FIRE-RATED GYPSUM WALL BOARD IN ALL AREAS FOR WALLS AND CEILINGS.
 - PROVIDE FIRE RETARDANT COATING TREATMENT IN ALL CRAWLSPACES.

DATE:
FEBRUARY 25, 2022

SHEET TITLE:
FLOOR PLANS

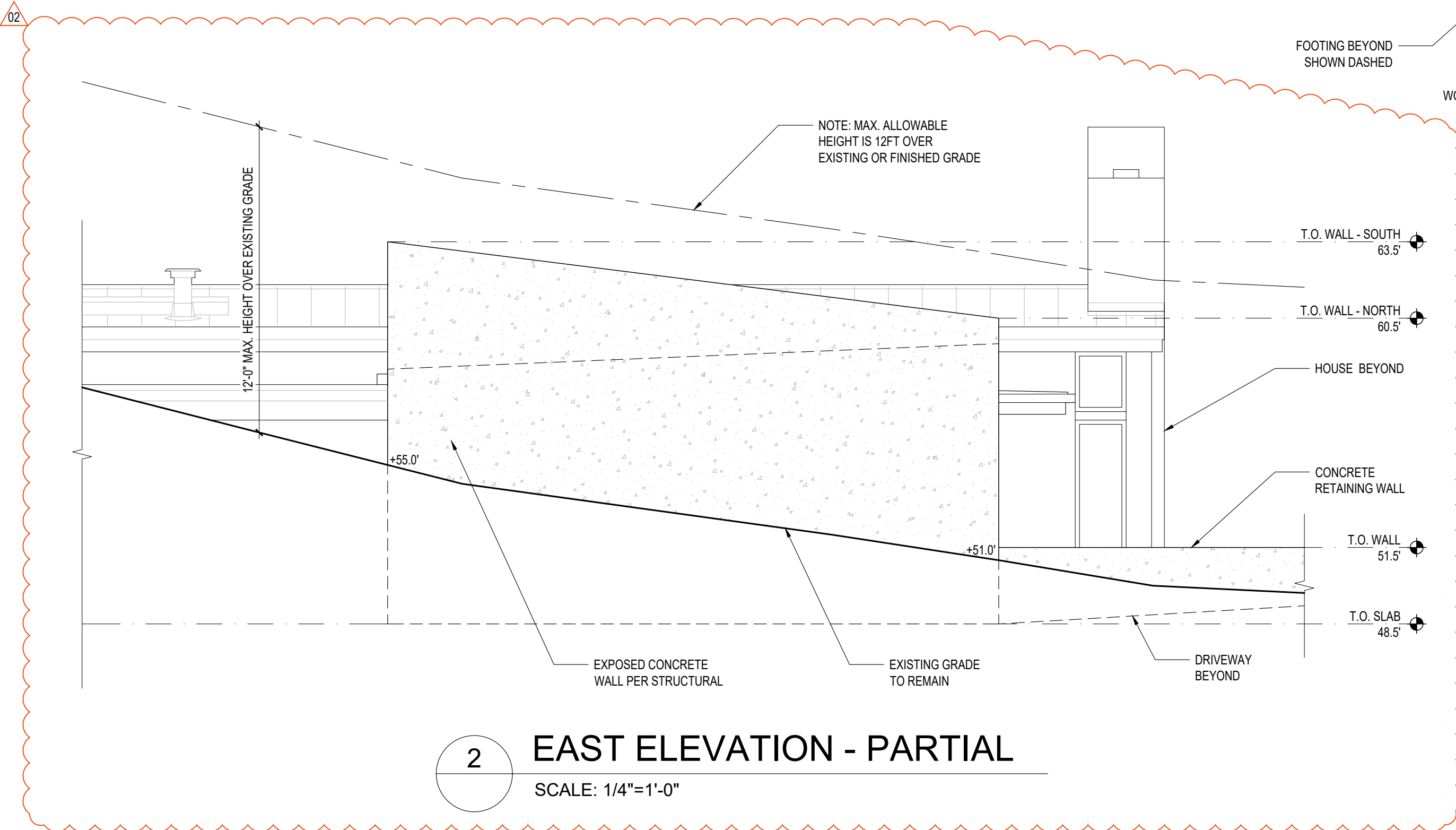
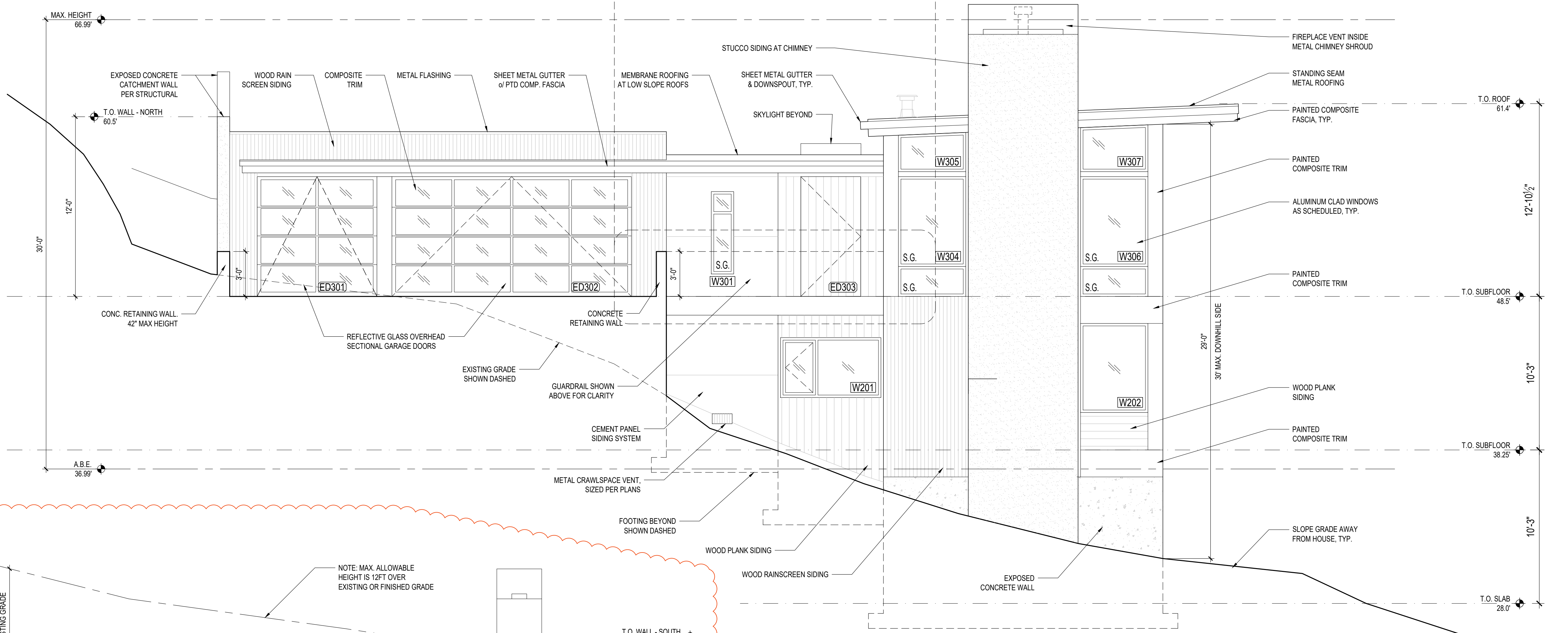
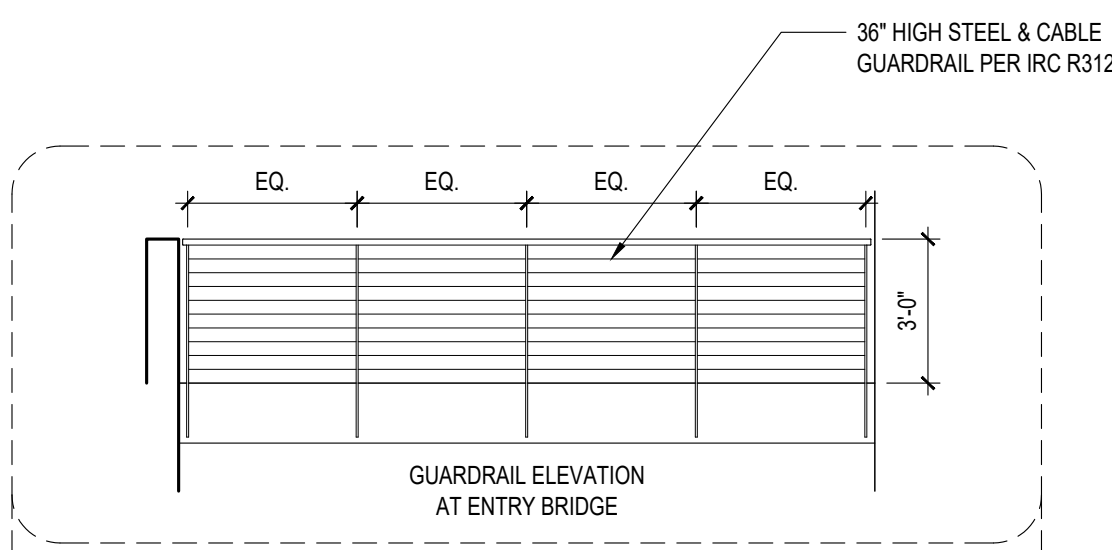
SHEET:

A2.4

PROJECT:
WESTVIEW RESIDENCE
4045 W MERCER WAY
MERCER ISLAND WA 98040

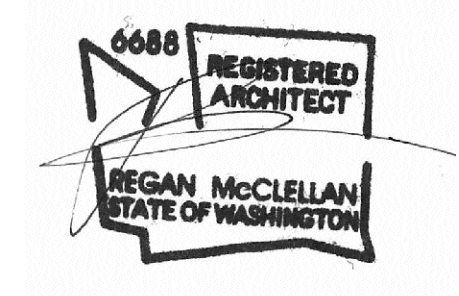
CLIENT:
MIST LLC

ISSUE:
PERMIT SUBMISSION 02.25.2022
PERMIT REVISIONS 1 08.12.2022
PERMIT REVISIONS 2 07.21.2023



1 NORTH ELEVATION
SCALE: 1/4"=1'-0"

2 EAST ELEVATION - PARTIAL
SCALE: 1/4"=1'-0"



DATE:
FEBRUARY 25, 2022

SHEET TITLE:
EXTERIOR ELEVATIONS

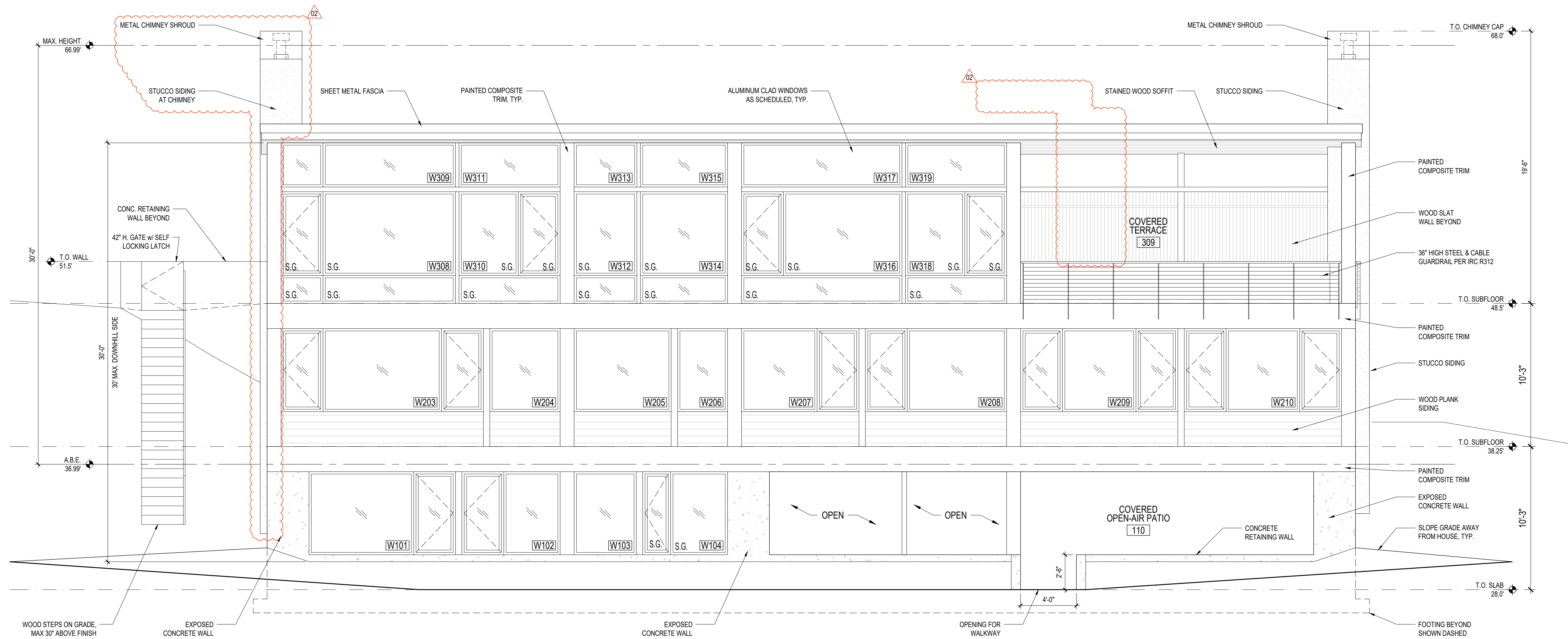
SHEET:

A3.0

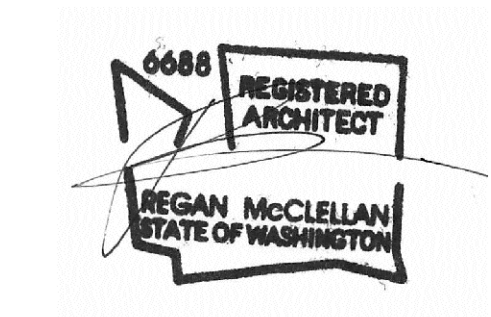
PROJECT:
WESTVIEW RESIDENCE
4045 W MERCER WAY
MERCER ISLAND WA 98040

CLIENT:
MIST LLC

ISSUE:
PERMIT SUBMISSION 02.25.2022
PERMIT REVISIONS 1 08.12.2022
PERMIT REVISIONS 2 07.21.2023



1 WEST ELEVATION
SCALE: 1/4"=1'-0"



DATE:
FEBRUARY 25, 2022

SHEET TITLE:
EXTERIOR ELEVATIONS

SHEET:

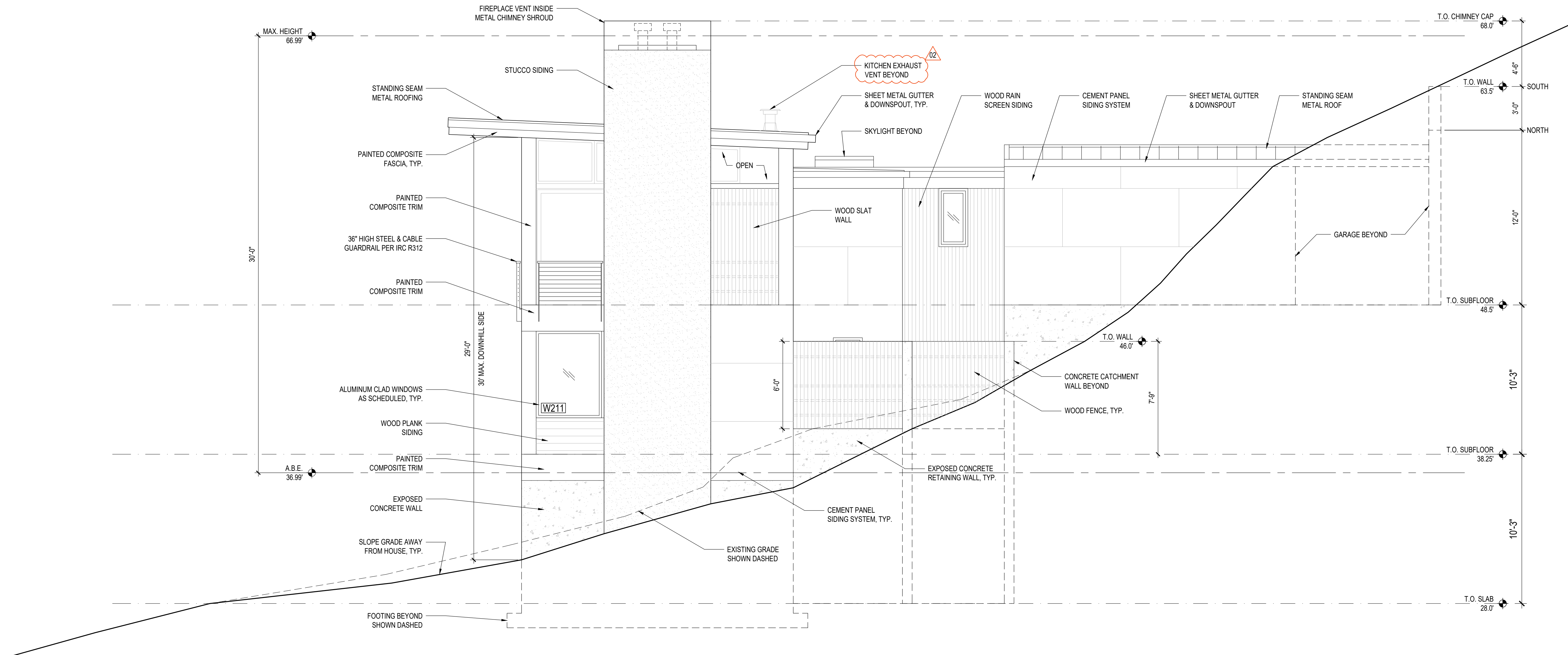
A3.1

PROJECT:
WESTVIEW RESIDENCE
4045 W MERCER WAY
MERCER ISLAND WA 98040

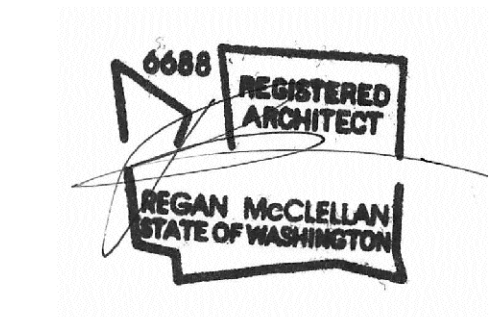
CLIENT:
MIST LLC

ISSUE:
PERMIT SUBMISSION 02.25.2022
PERMIT REVISIONS 1 08.12.2022
PERMIT REVISIONS 2 07.21.2023

NOTE:
STUCCO SYSTEM PER IRC 703.6
FOR UNDERLAYMENT AND
PRODUCT APPLICATION, REFER TO
SPECIFICATIONS LISTED ON 9/A5.0



1 SOUTH ELEVATION
SCALE: 1/4"=1'-0"



DATE:
FEBRUARY 25, 2022

SHEET TITLE:
EXTERIOR ELEVATIONS

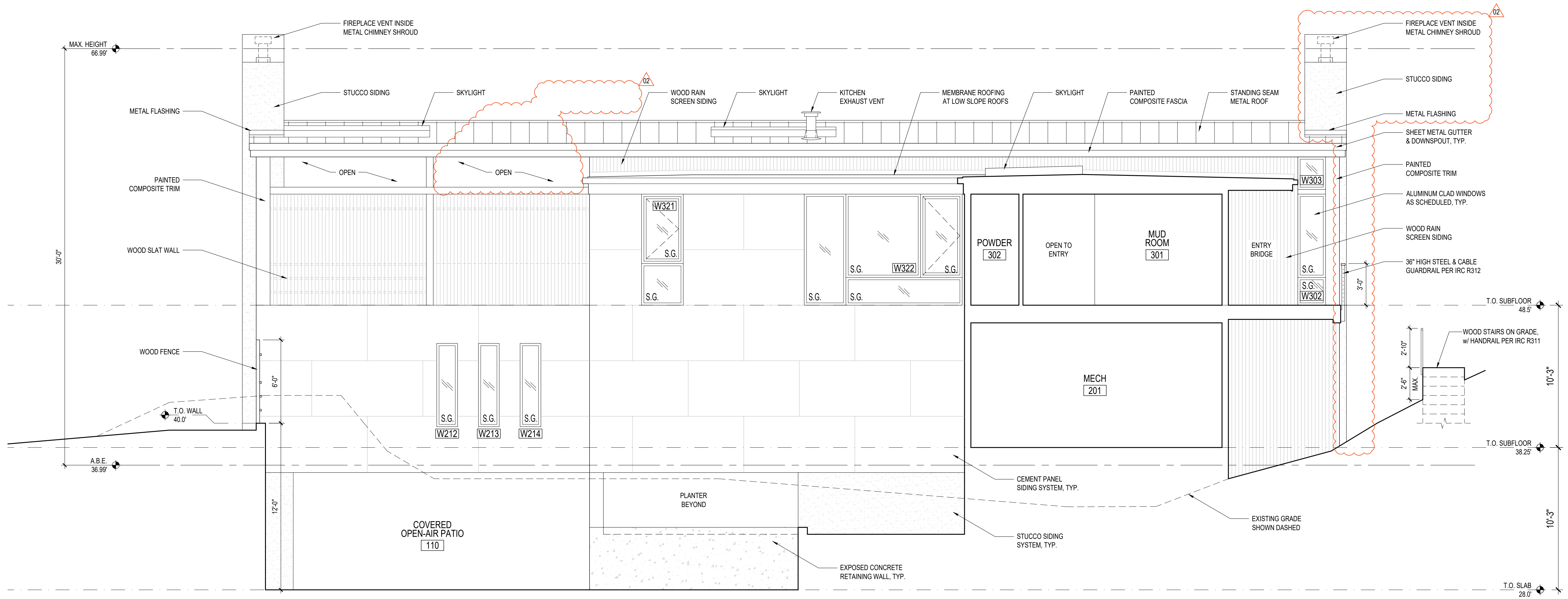
SHEET:

A3.3

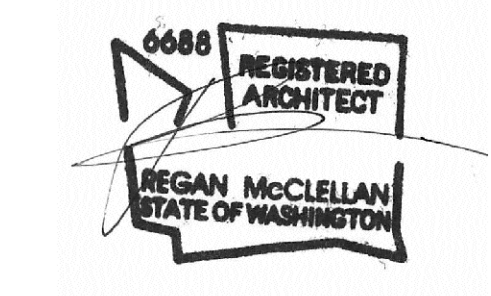
PROJECT:
WESTVIEW RESIDENCE
4045 W MERCER WAY
MERCER ISLAND WA 98040

CLIENT:
MIST LLC

ISSUE:
PERMIT SUBMISSION 02.25.2022
PERMIT REVISIONS 1 08.12.2022
PERMIT REVISIONS 2 07.21.2023



1 EAST ELEVATION
SCALE: 1/4"=1'-0"



DATE:
FEBRUARY 25, 2022

SHEET TITLE:
EXTERIOR ELEVATIONS

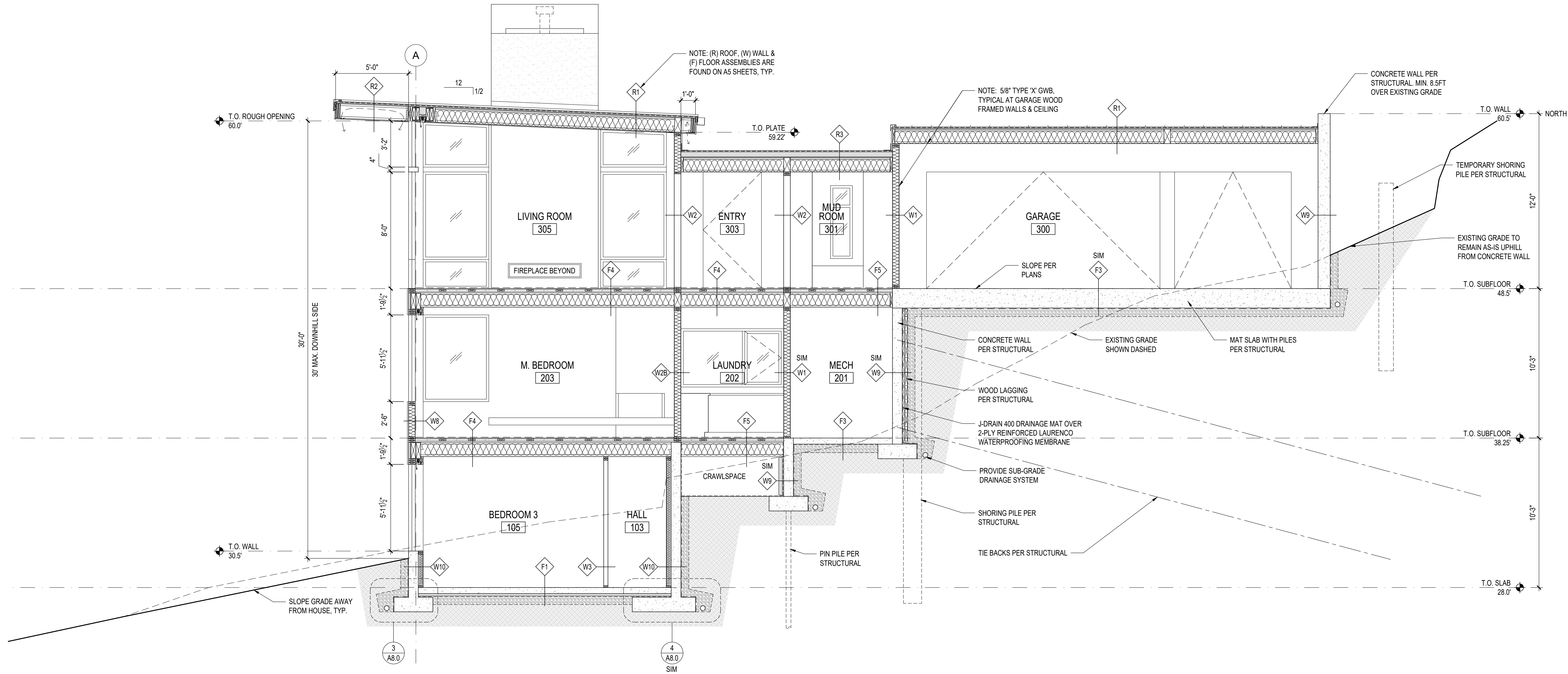
SHEET:

A3.4

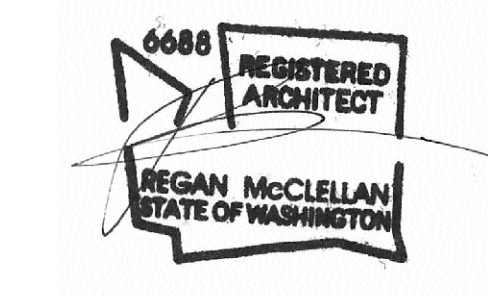
PROJECT:
WESTVIEW RESIDENCE
4045 W MERCER WAY
MERCER ISLAND WA 98040

CLIENT:
MIST LLC

ISSUE:
PERMIT SUBMISSION 02.25.2022
PERMIT REVISIONS 1 08.12.2022
PERMIT REVISIONS 2 07.21.2023



1 BUILDING SECTION
SCALE: 1/4"=1'-0"



DATE:
FEBRUARY 25, 2022

SHEET TITLE:
BUILDING SECTIONS

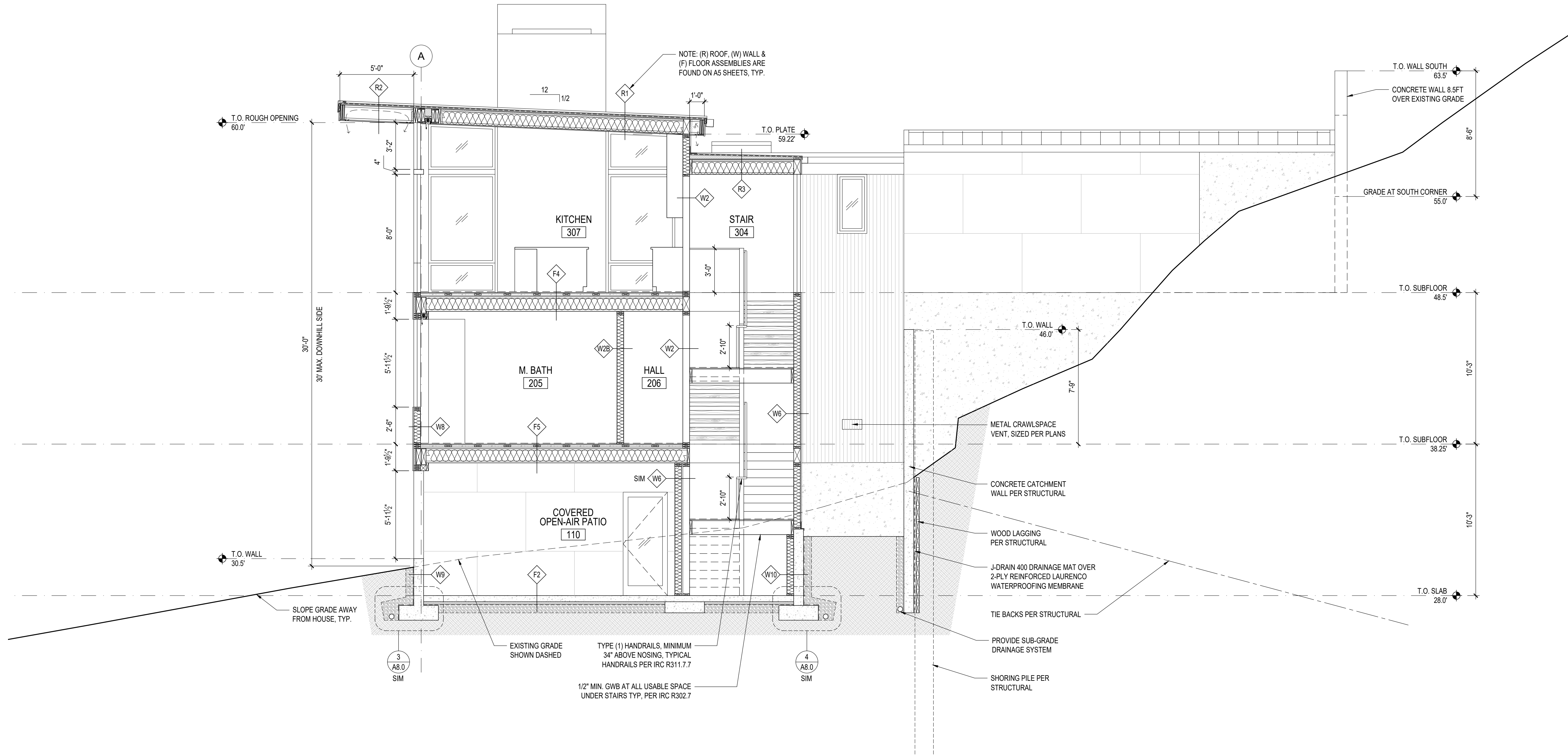
SHEET:

A4.0

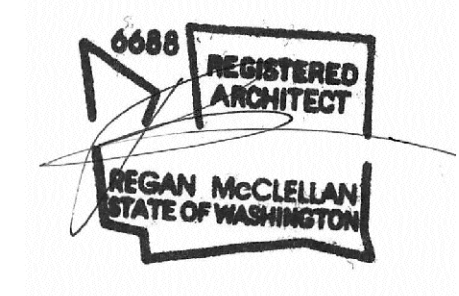
PROJECT:
WESTVIEW RESIDENCE
4045 W MERCER WAY
MERCER ISLAND WA 98040

CLIENT:
MIST LLC

ISSUE:
PERMIT SUBMISSION 02.25.2022
PERMIT REVISIONS 1 08.12.2022
PERMIT REVISIONS 2 07.21.2023



1 BUILDING SECTION
SCALE: 1/4"=1'-0"



DATE:
FEBRUARY 25, 2022

SHEET TITLE:
BUILDING SECTIONS

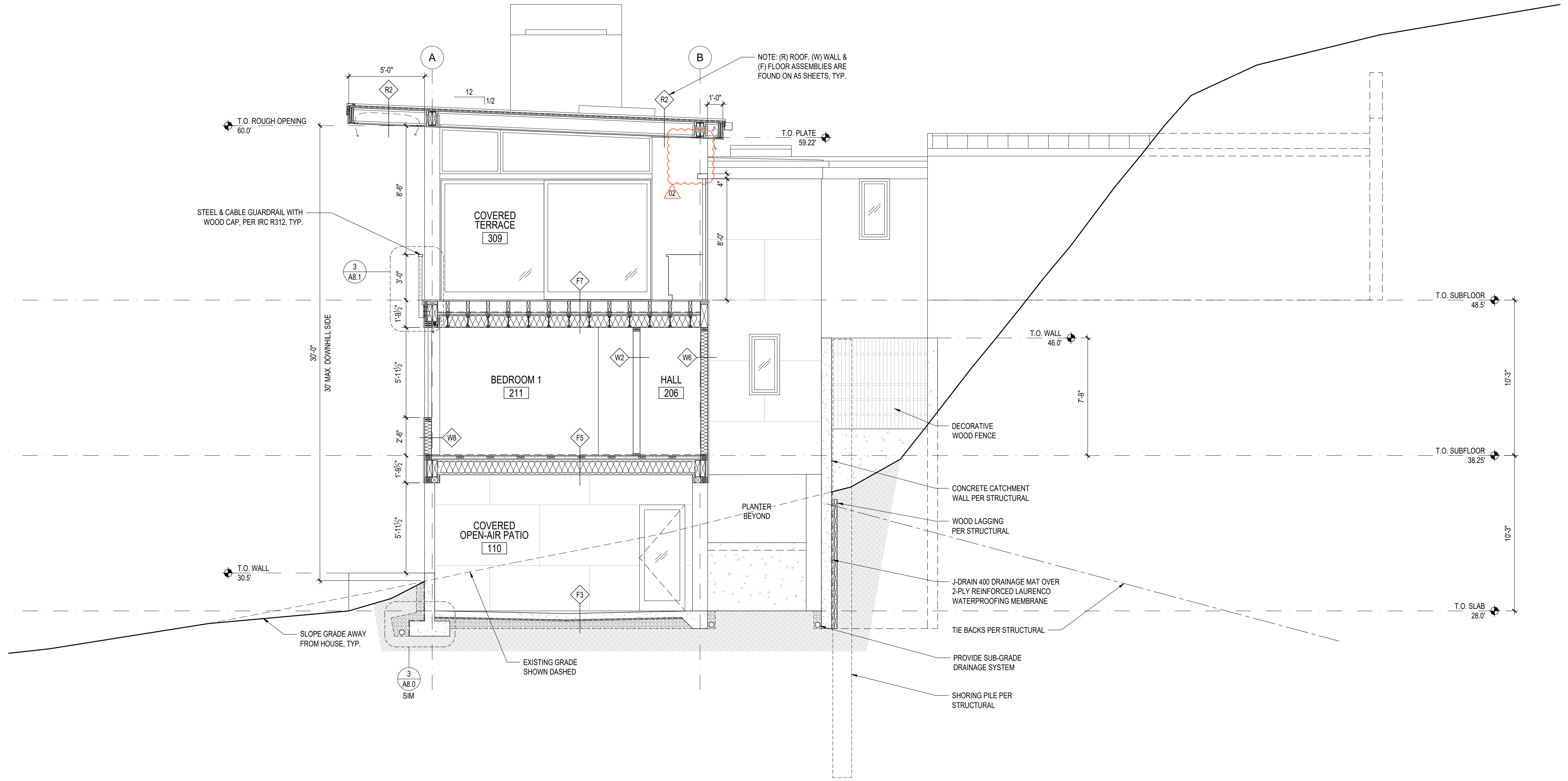
SHEET:

A4.1

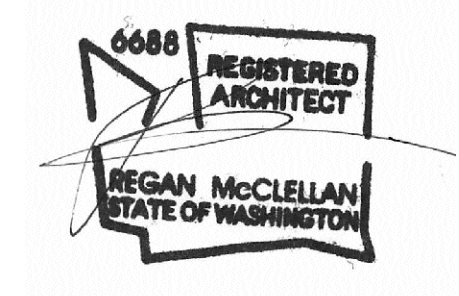
PROJECT:
WESTVIEW RESIDENCE
4045 W MERCER WAY
MERCER ISLAND WA 98040

CLIENT:
MIST LLC

ISSUE:
PERMIT SUBMISSION 02.25.2022
PERMIT REVISIONS 1 08.12.2022
PERMIT REVISIONS 2 07.21.2023



1 BUILDING SECTION
SCALE: 1/4"=1'-0"

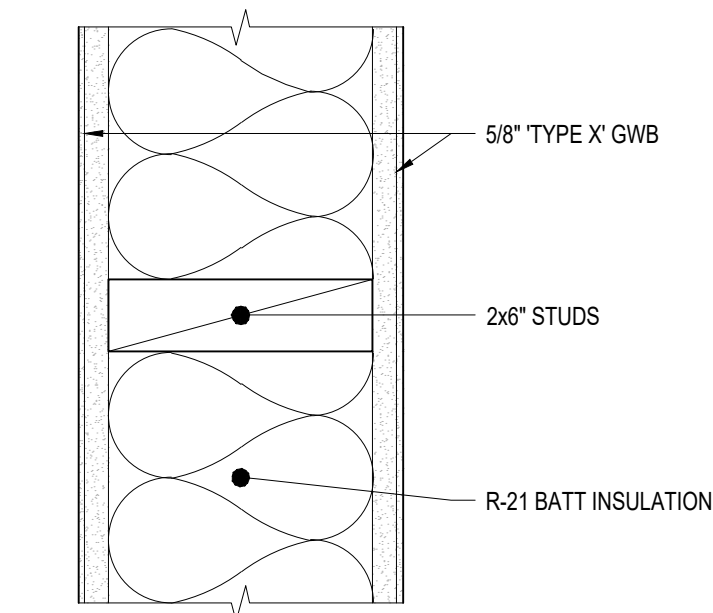


DATE:
FEBRUARY 25, 2022

SHEET TITLE:
BUILDING SECTIONS

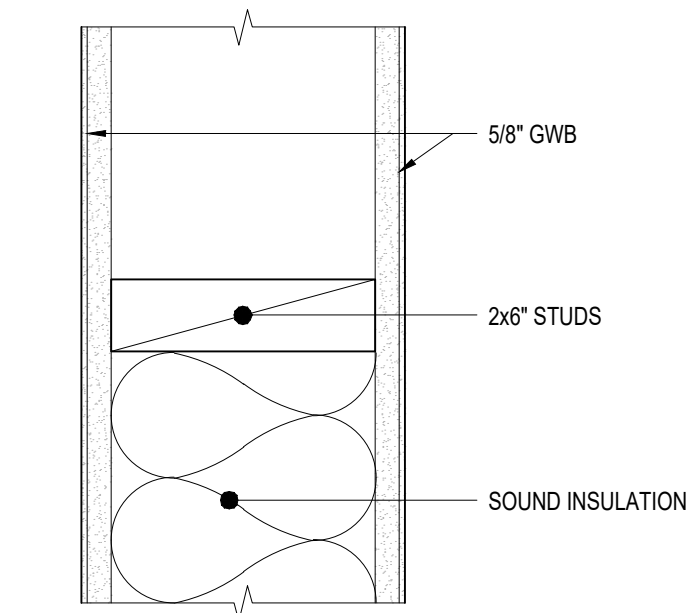
SHEET:

A4.2



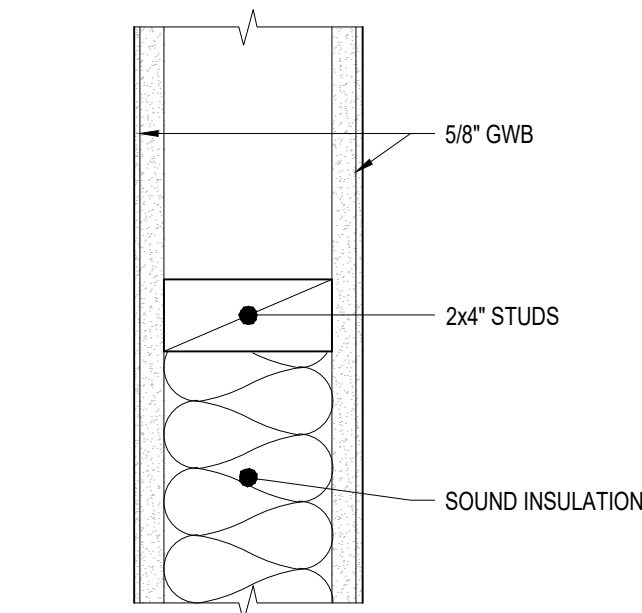
W1
WALL ASSEMBLY:
2x6 1-HOUR INT. WALL - DRYWALL

1 INTERIOR WALL ASSEMBLY - W1
3" = 1'-0"



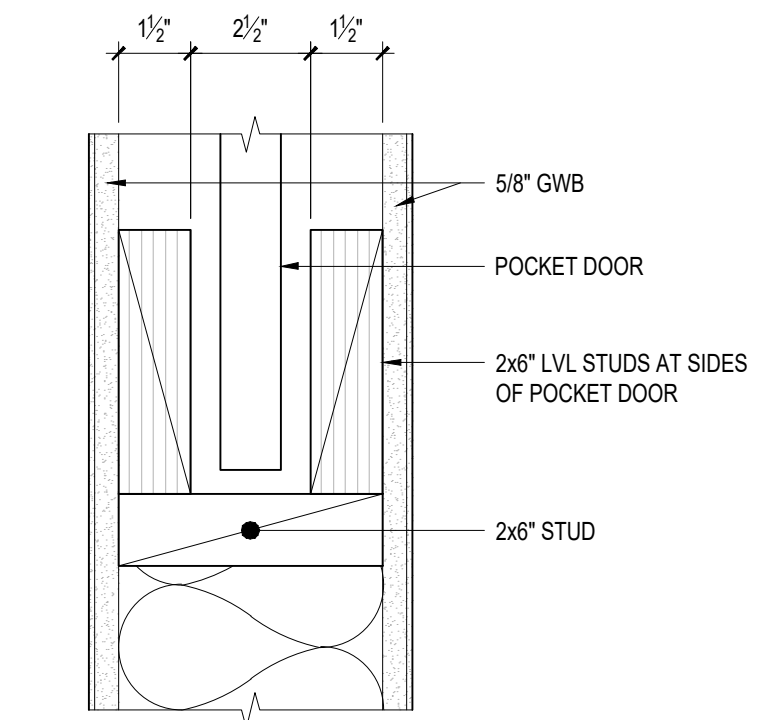
W2
WALL ASSEMBLY:
2x6 INT. WALL - DRYWALL
W2B
WALL ASSEMBLY:
2x6 INT. WALL - DRYWALL w/ SOUND INSULATION

2 INTERIOR WALL ASSEMBLY - W2
3" = 1'-0"



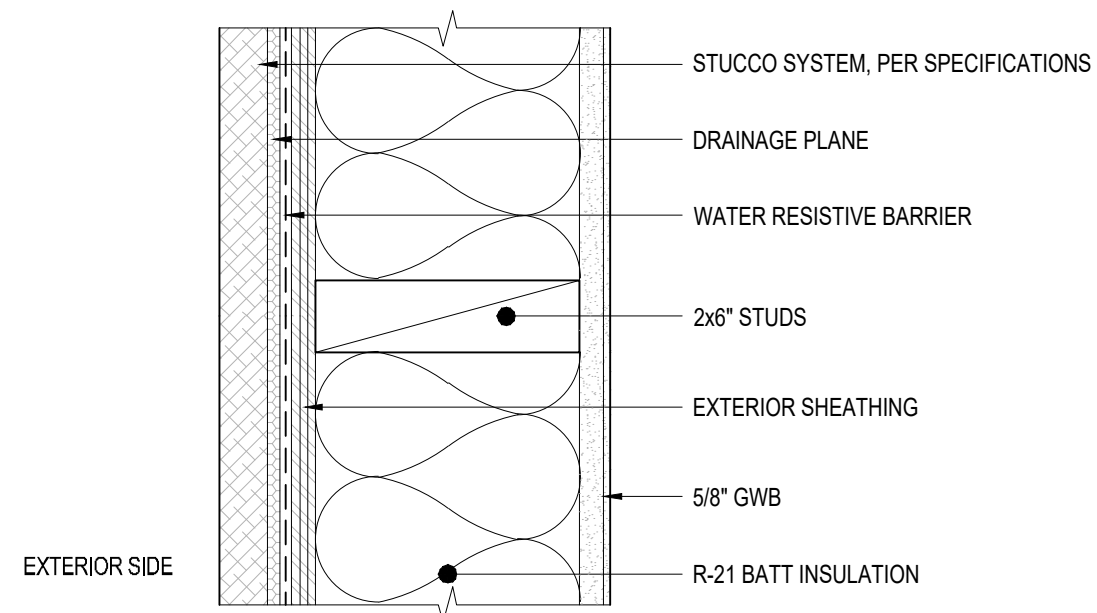
W3
WALL ASSEMBLY:
2x4 INT. WALL - DRYWALL
W3B
WALL ASSEMBLY:
2x4 INT. WALL - DRYWALL w/ SOUND INSULATION

3 INTERIOR WALL ASSEMBLY - W3
3" = 1'-0"



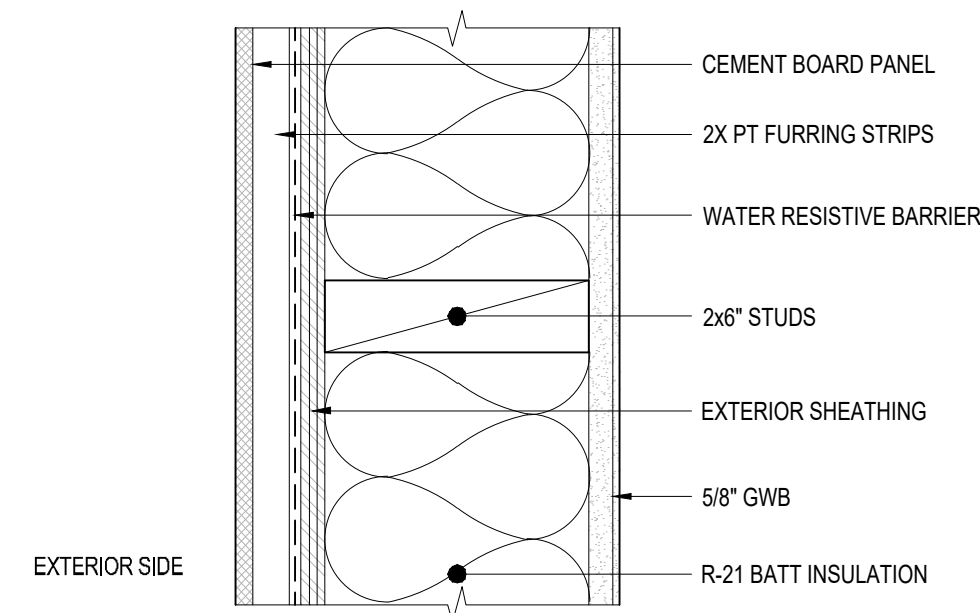
W4
WALL ASSEMBLY:
2x6 INT. DOUBLE STUD WALL AT DOOR POCKETS - DRYWALL

4 INTERIOR WALL ASSEMBLY - W4
3" = 1'-0"



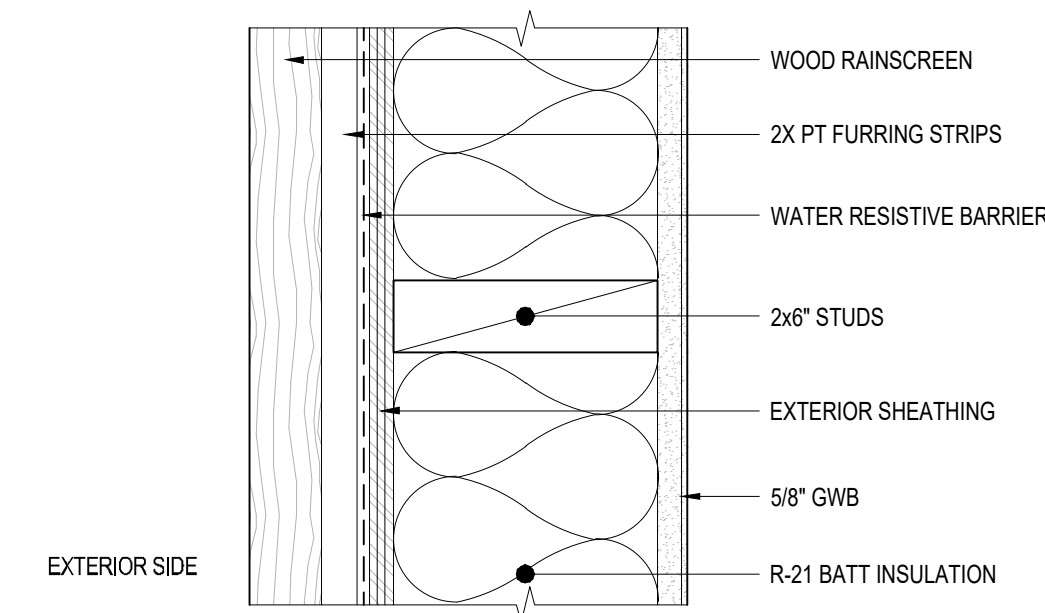
W5
WALL ASSEMBLY:
2x6 EXT. WALL - STUCCO w/ INSULATION

5 EXTERIOR WALL ASSEMBLY - W5
3" = 1'-0"



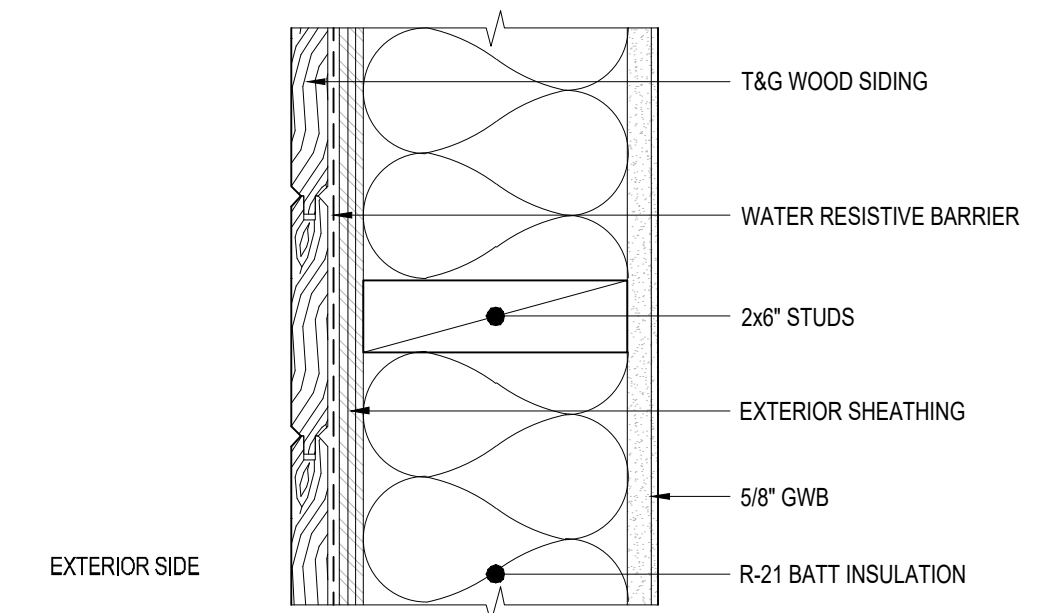
W6
WALL ASSEMBLY:
2x6 EXT. WALL - CEMENT BOARD PANEL w/ INSULATION

6 EXTERIOR WALL ASSEMBLY - W6
3" = 1'-0"



W7
WALL ASSEMBLY:
2x6 EXT. WALL - WOOD RAINSCREEN w/ INSULATION

7 EXTERIOR WALL ASSEMBLY - W7
3" = 1'-0"



W8
WALL ASSEMBLY:
2x6 EXT. WALL - WOOD SIDING w/ INSULATION

8 EXTERIOR WALL ASSEMBLY - W8
3" = 1'-0"

STUCCO SYSTEM SPECIFICATION:

- 1) INSTALL STUCCO PER IRC SECTION R703.6
- 2) PROVIDE HOME SLICKER STUCCO DRAINAGE MAT OVER THE VAPOR BARRIER
- 3) PROVIDE CORROSION RESISTANT METAL LATHE
- 4) PROVIDE MIN 1/2" CEMENTITIOUS SCRATCH COAT
- 5) PROVIDE MIN 3/8" CEMENTITIOUS BROWN COAT
- 6) PROVIDE MIN 1/8" ACRYLIC DRYVIT FINISH COAT
- 7) PROVIDE NO. 26 GAGE PLASTIC WEEP SCREED w/ MIN VERTICAL ATTACHMENT FLANGE OF 3-1/2". PLACE A MINIMUM OF 4" ABOVE GRADE. THE SCREED SHALL ALLOW DRAINAGE TO THE EXTERIOR. THE WEATHER RESISTIVE BARRIER AND LATHE SHALL COVER AND TERMINATE AT THE ATTACHMENT FLANGE OF THE WEEP SCREED.

WATER RESISTIVE BARRIER SPECIFICATION

- 1) TAMYLN WRAP DRAINABLE HOUSEWRAP, WATER RESISTIVE VAPOR PERMEABLE AIR BARRIER

BELOW GRADE WATERPROOFING SPECIFICATION

- 1) PROVIDE AND INSTALL CETCO VOLTEX DS TO BELOW GRADE WALLS FOLLOWED BY A COURSE OF DRAINAGE COMPOSITE AQUADRAIN SHEET DRAINAGE

SINGLE MEMBRANE ROOFING SPECIFICATION

- 1) VERSICO VERSIWELD TPO, 80 MIL, FULLY ADHERED ROOFING

STANDING SEAM METAL ROOFING SPECIFICATION

- 1) NU-RAY METALS METAL ROOF - SERIES NRM-2000, 16" WIDE, FLAT PAN, 24 GAUGE, FLAT PANEL, VINTAGE

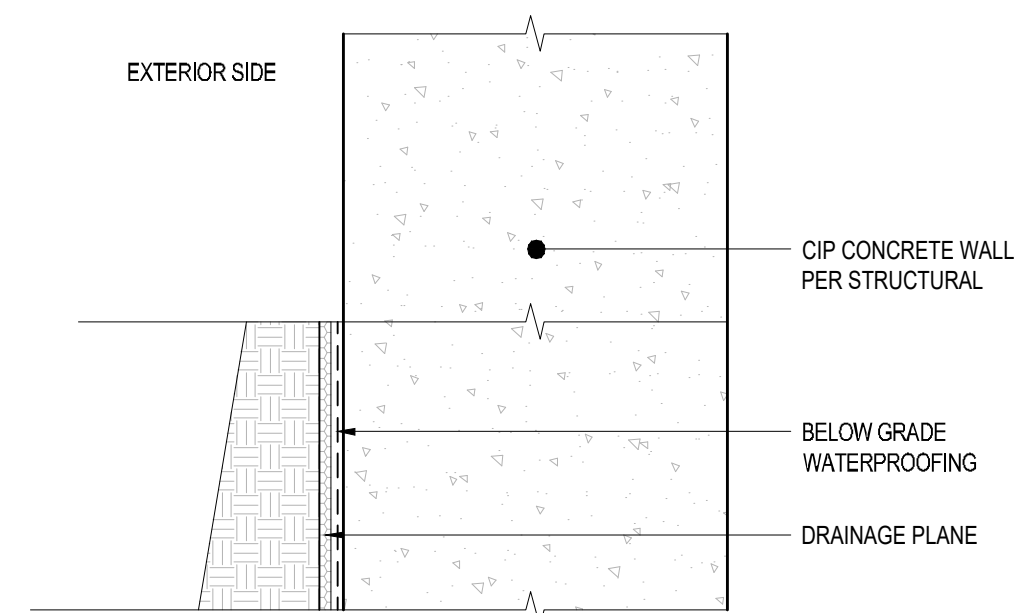
9 PROJECT SPECIFICATIONS
3" = 1'-0"

INSULATION INSTALLATION REQUIREMENTS

- 1) THE UNVENTED ATTIC SPACE IS COMPLETELY CONTAINED WITHIN THE BUILDING THERMAL ENVELOPE
- 2) NO INTERIOR VAPOR RETARDERS ARE INSTALLED ON THE CEILING SIDE (ATTIC FLOOR) OF THE UNVENTED ATTIC ASSEMBLY
- 3) ANY AIR-IMPERMEABLE INSULATION SHALL BE A VAPOR RETARDER COATING, OR SHALL HAVE A VAPOR RETARDER COATING OR COVERING IN DIRECT CONTACT WITH THE UNDERSIDE OF THE INSULATION
- 4) AIR IMPERABLE INSULATION SHALL BE APPLIED IN DIRECT CONTACT TO THE UNDERSIDE OF THE STRUCTURAL ROOF SHEATHING

SPRAY FOAM INSULATION WITH NO VENTILATION SPECIFICATION

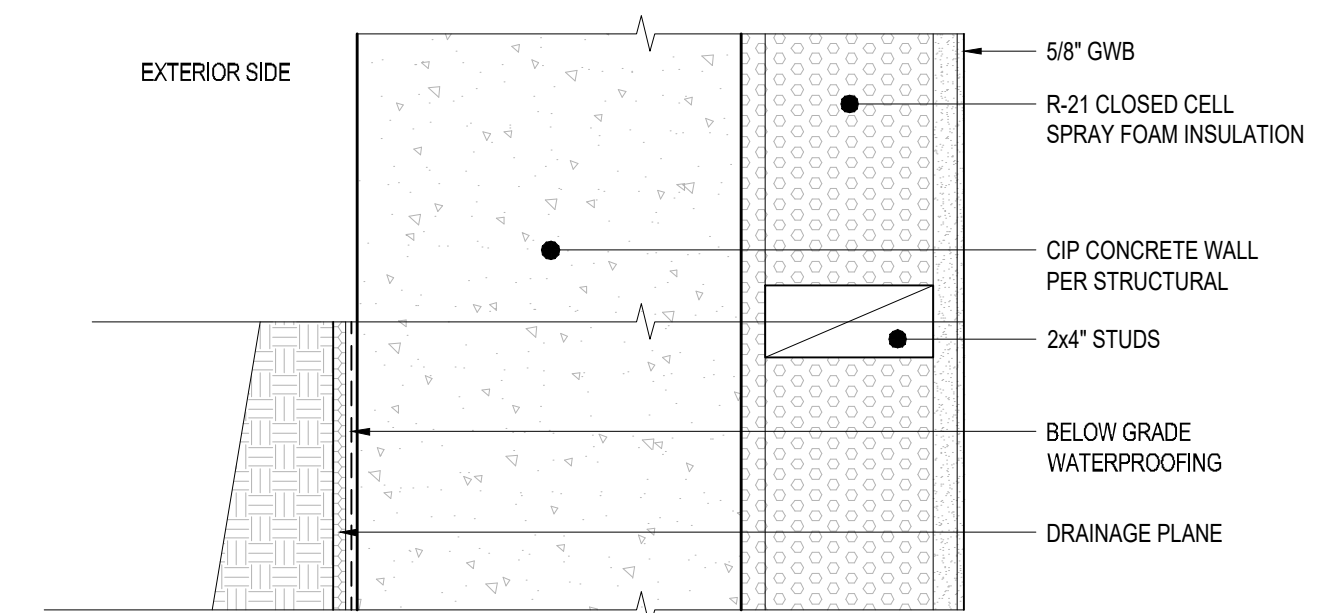
- 1) PRODUCT: SPRAY-APPLIED POLYURETHANE FOAM INSULATION
- 2) ICC-ES EVALUATION REPORT # ESR-3210
- 3) INSULATION MUST BE APPLIED BY CERTIFIED INSTALLERS. A COPY OF THE INSTALLERS CERTIFICATION MUST BE ON SITE FOR FIELD INSPECTOR VERIFICATION.



W9
WALL ASSEMBLY (ABOVE GRADE):
CONCRETE WALL - EXT. BOARD FORM CONCRETE FINISH

W9B
WALL ASSEMBLY (BELOW GRADE):
CONCRETE RETAINING WALL EXPOSED

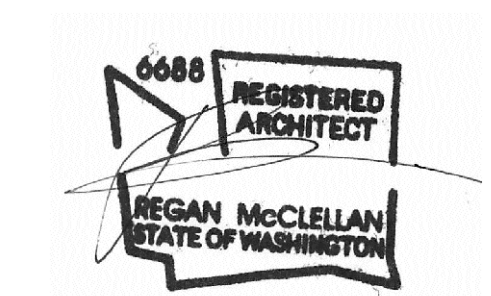
11 EXTERIOR WALL ASSEMBLY - W9
3" = 1'-0"

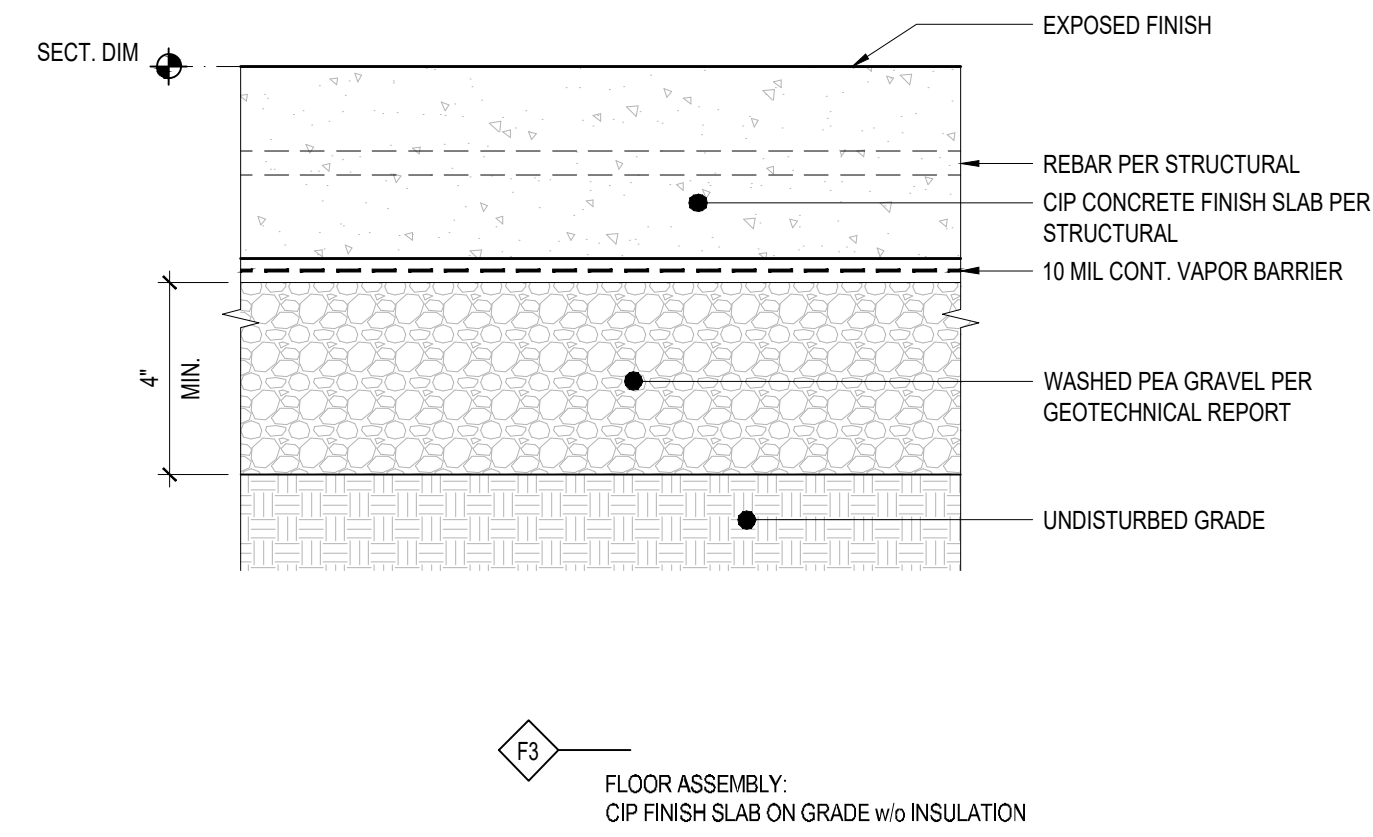
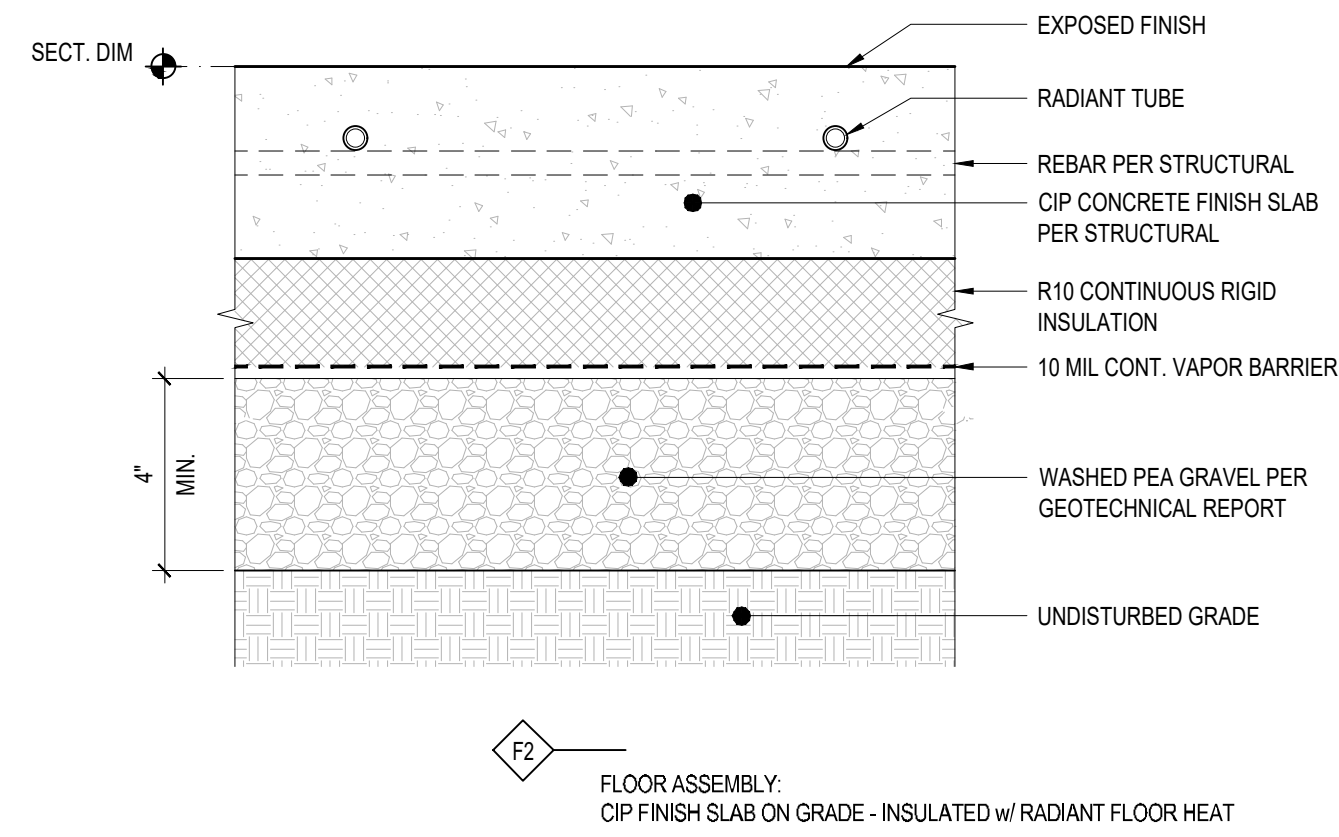
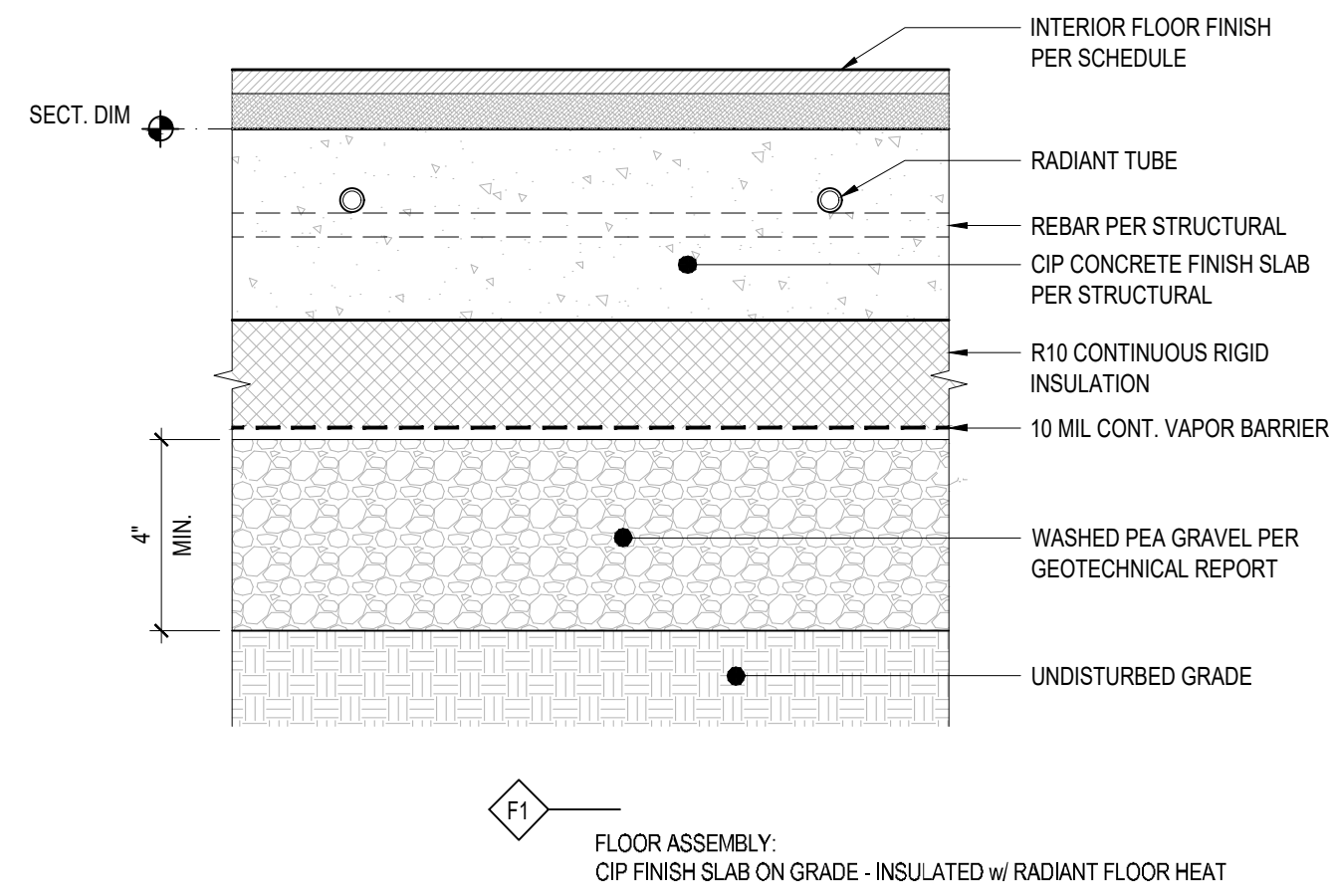


W10
WALL ASSEMBLY (ABOVE GRADE):
CONCRETE WALL - EXT. BOARD FORM CONCRETE FINISH
w INT. 2x4 STUD FURRING & INSUL.

W10B
WALL ASSEMBLY (BELOW GRADE):
CONCRETE RETAINING WALL - INT. 2x4 STUD FURRING & INSUL.

12 EXTERIOR WALL ASSEMBLY - W10
3" = 1'-0"



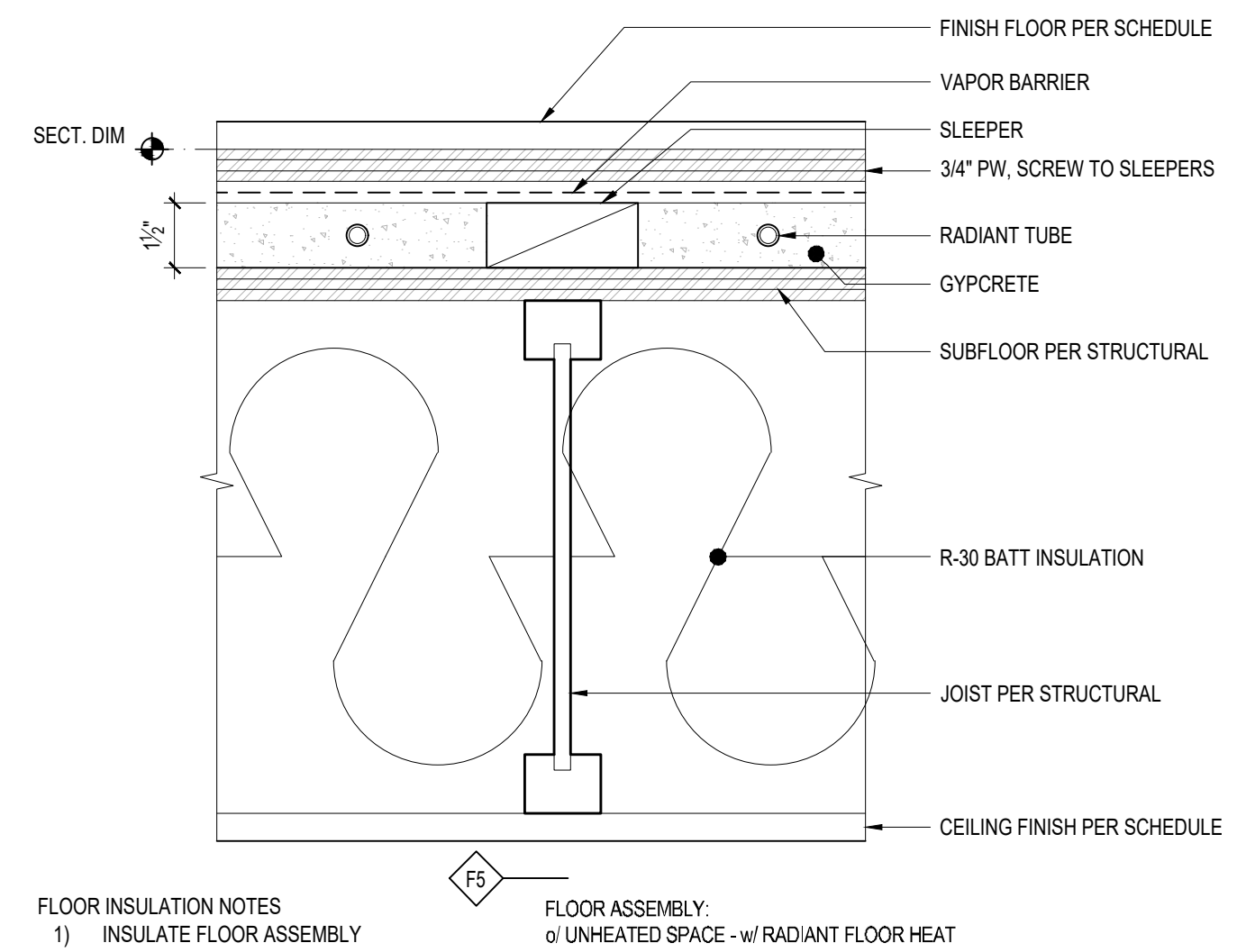
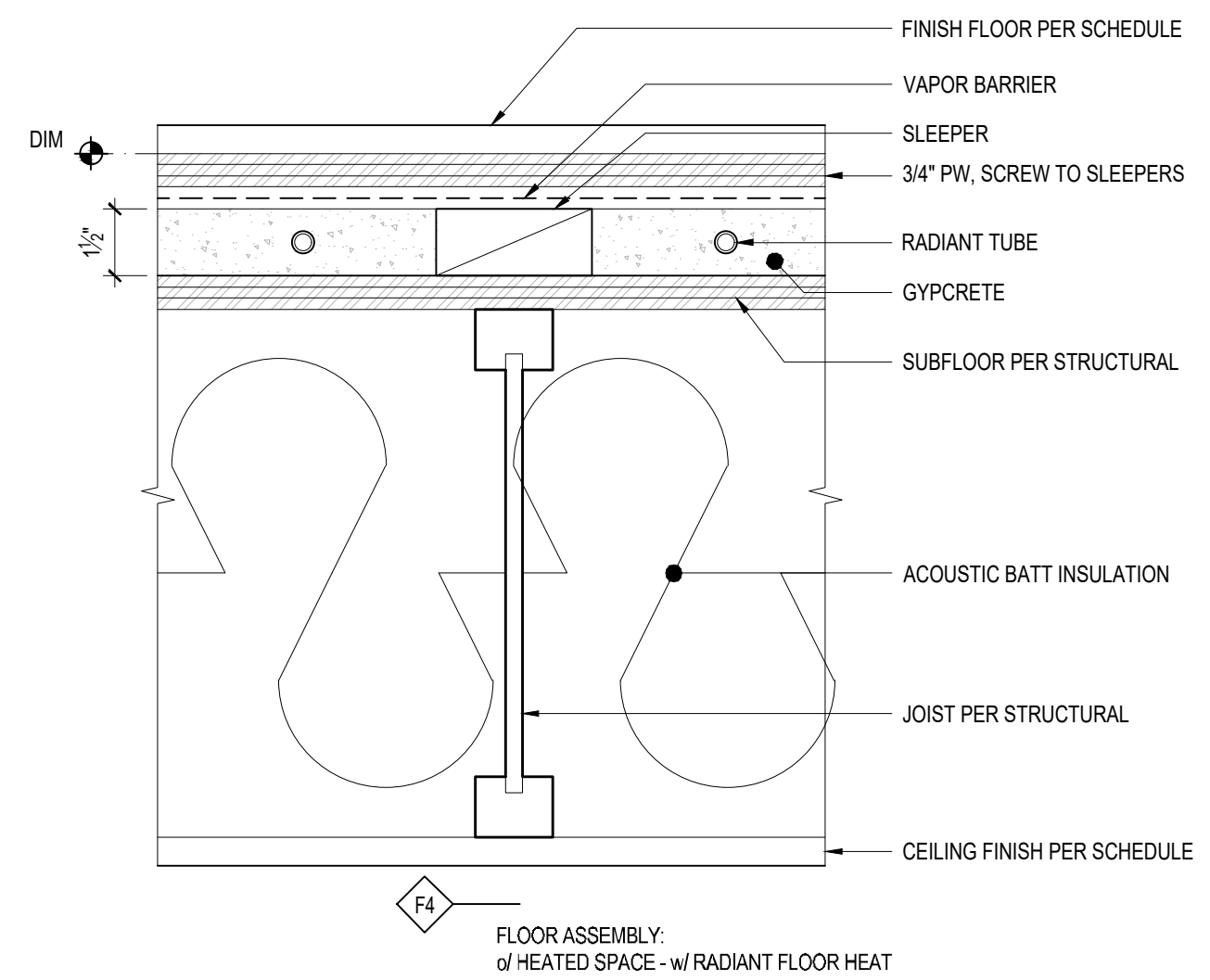


1 NOT USED
3" = 1'-0"

2 FLOOR ASSEMBLY - F1
3" = 1'-0"

3 FLOOR ASSEMBLY - F2
3" = 1'-0"

4 FLOOR ASSEMBLY - F3
3" = 1'-0"



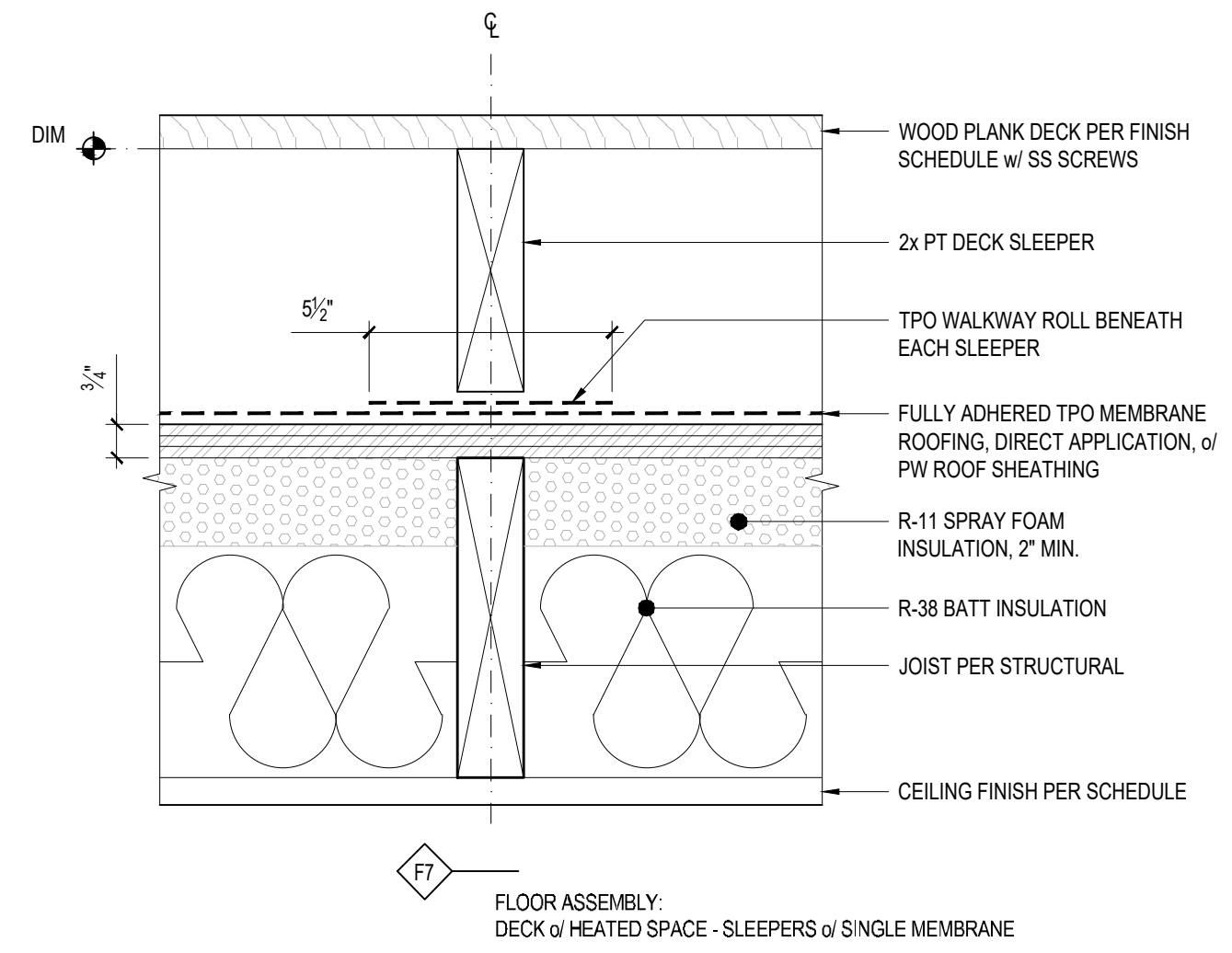
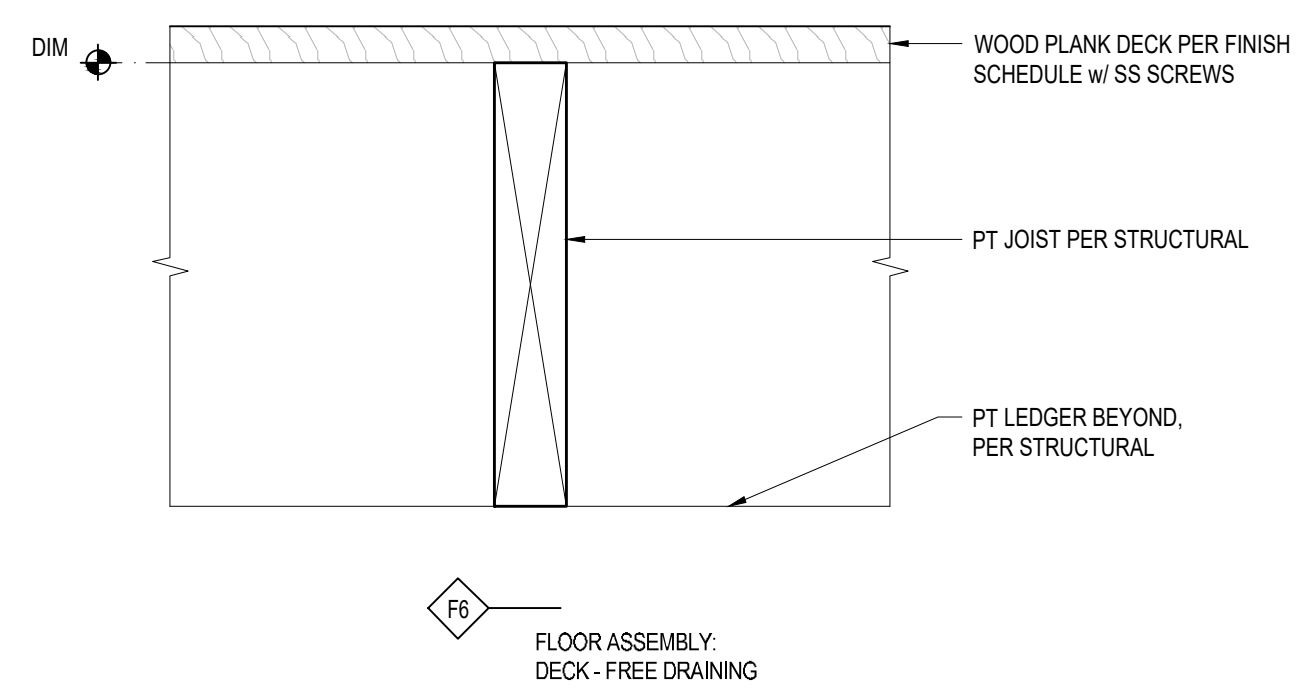
FLOOR INSULATION NOTES
1) INSULATE FLOOR ASSEMBLY OVER COVERED PATIO - F5
2) SOUND BATT INSULATION ONLY ELSEWHERE - F4

5 NOT USED
3" = 1'-0"

6 NOT USED
3" = 1'-0"

7 FLOOR ASSEMBLY - F4
3" = 1'-0"

8 FLOOR ASSEMBLY - F5
3" = 1'-0"

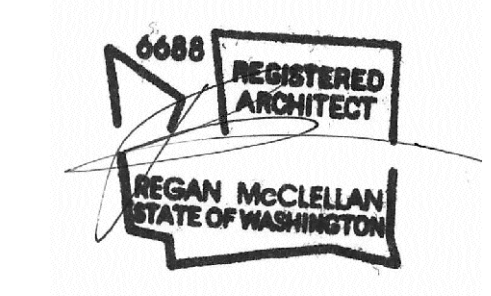


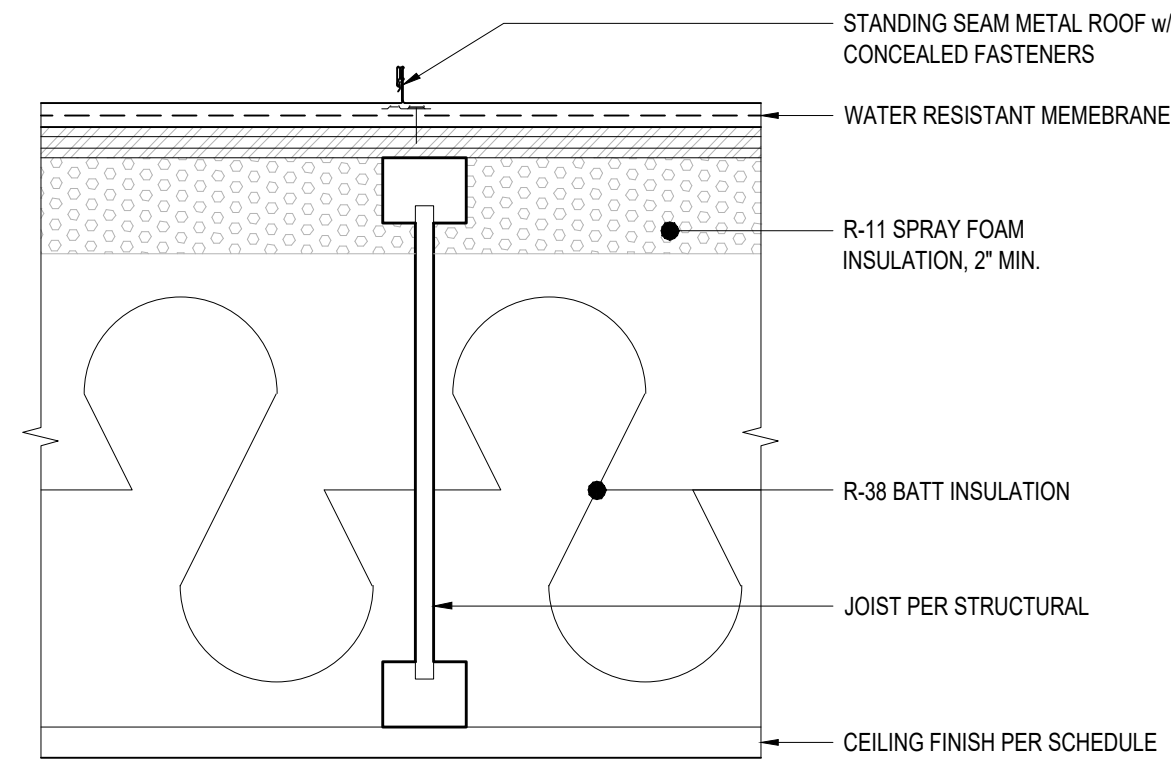
9 NOT USED
3" = 1'-0"

10 NOT USED
3" = 1'-0"

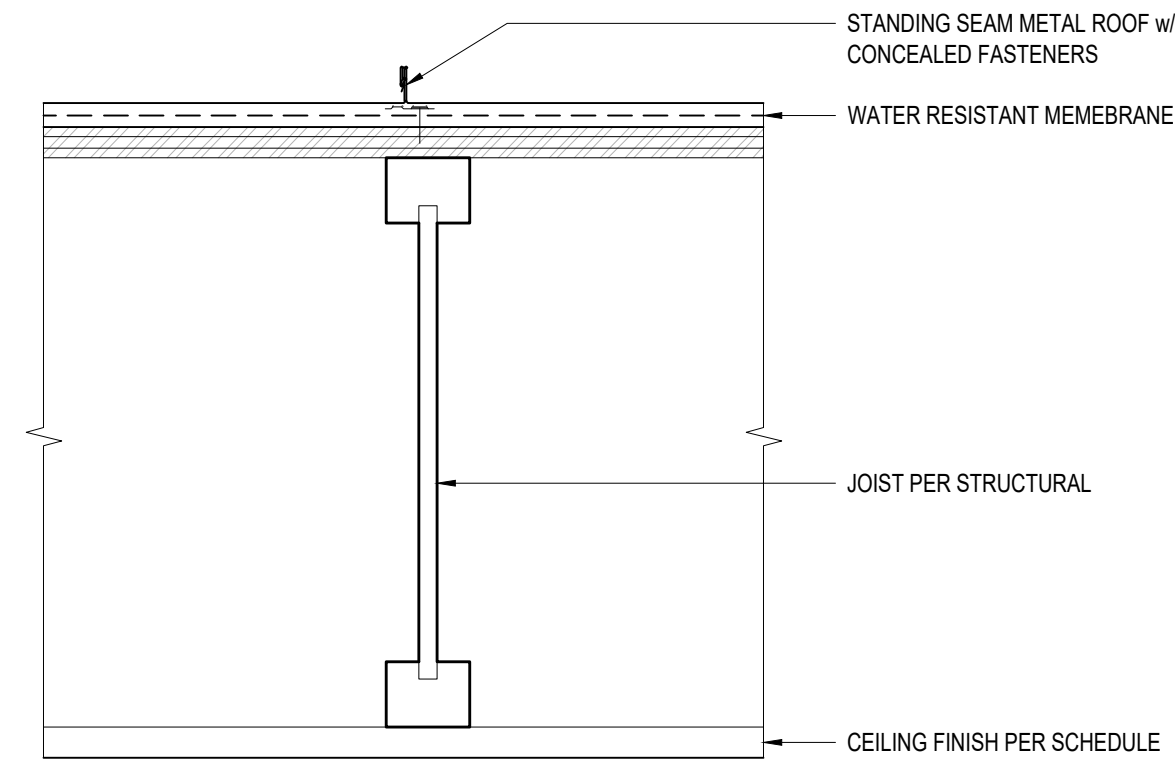
11 FLOOR ASSEMBLY - F6
3" = 1'-0"

12 FLOOR ASSEMBLY - F7
3" = 1'-0"

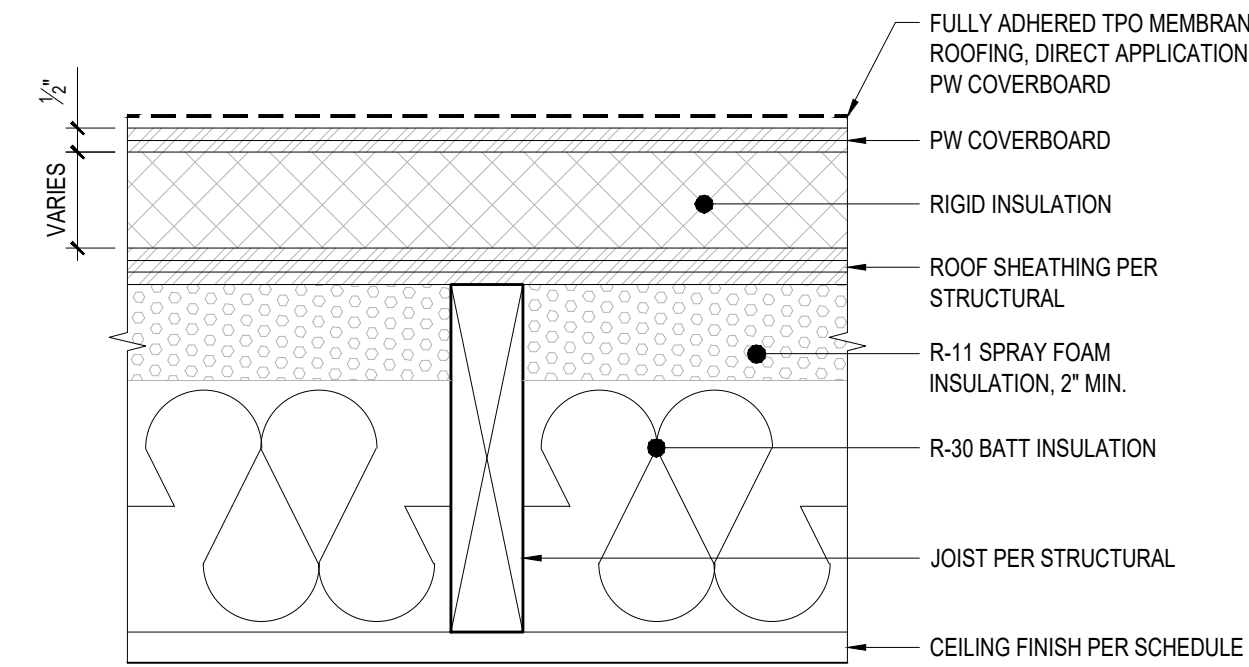




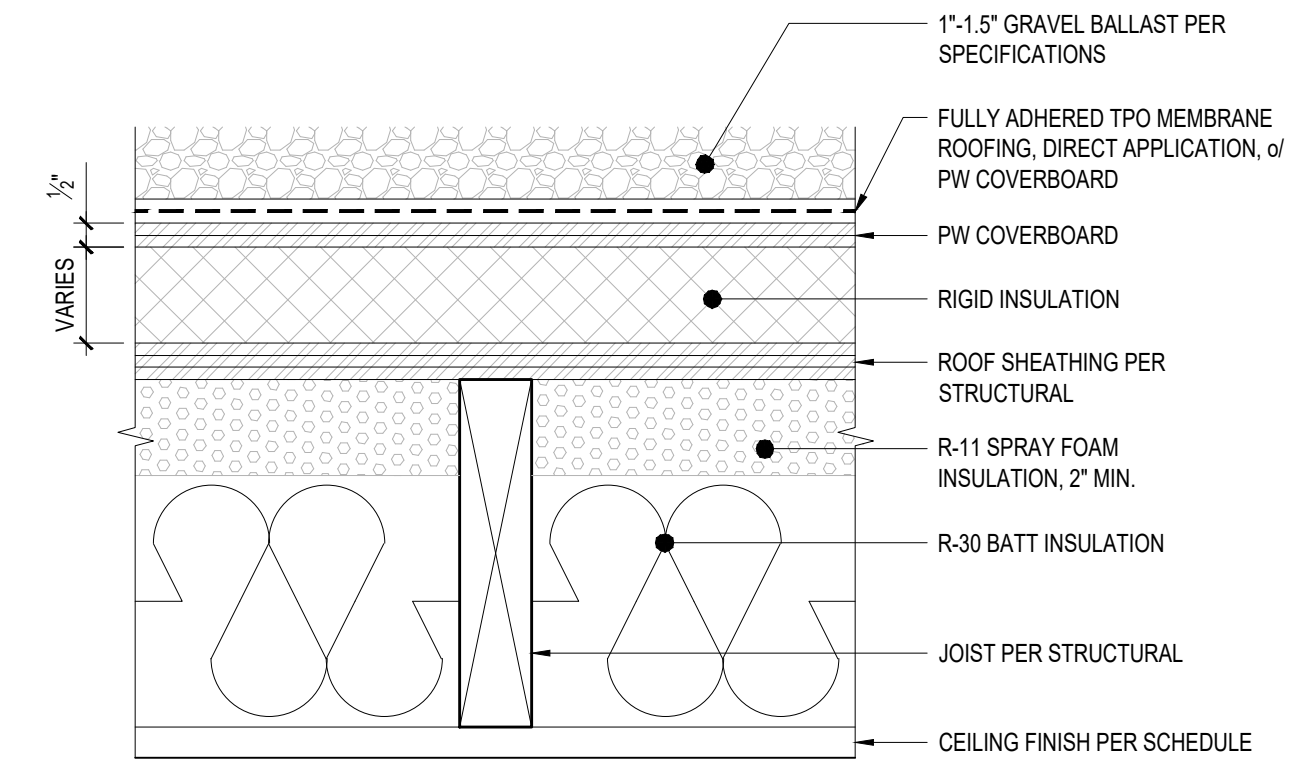
R1
ROOF ASSEMBLY:
STANDING SEAM METAL ROOF - INSULATED w/o VENTILATION



R2
ROOF ASSEMBLY:
STANDING SEAM METAL ROOF - VENTILATED w/o INSULATION



R3
ROOF ASSEMBLY:
SINGLE MEMBRANE w/ HEATED SPACE



R4
ROOF ASSEMBLY:
SINGLE MEMBRANE w/ ROCK BALLAST w/ HEATED SPACE

SPRAY FOAM INSULATION w/ NO VENTILATION
SPECIFICATION
1) PRODUCT: SPRAY-APPLIED POLYURETHANE FOAM
INSULATION
2) ICC-ES EVALUATION REPORT # ESR-3210
3) INSULATION MUST BE APPLIED BY CERTIFIED
INSTALLERS. A COPY OF THE INSTALLERS
CERTIFICATION MUST BE ON SITE FOR FIELD
INSPECTOR VERIFICATION

1 ROOF ASSEMBLY - R1
3\"/>

2 ROOF ASSEMBLY - R2
3\"/>

3 ROOF ASSEMBLY - R3
3\"/>

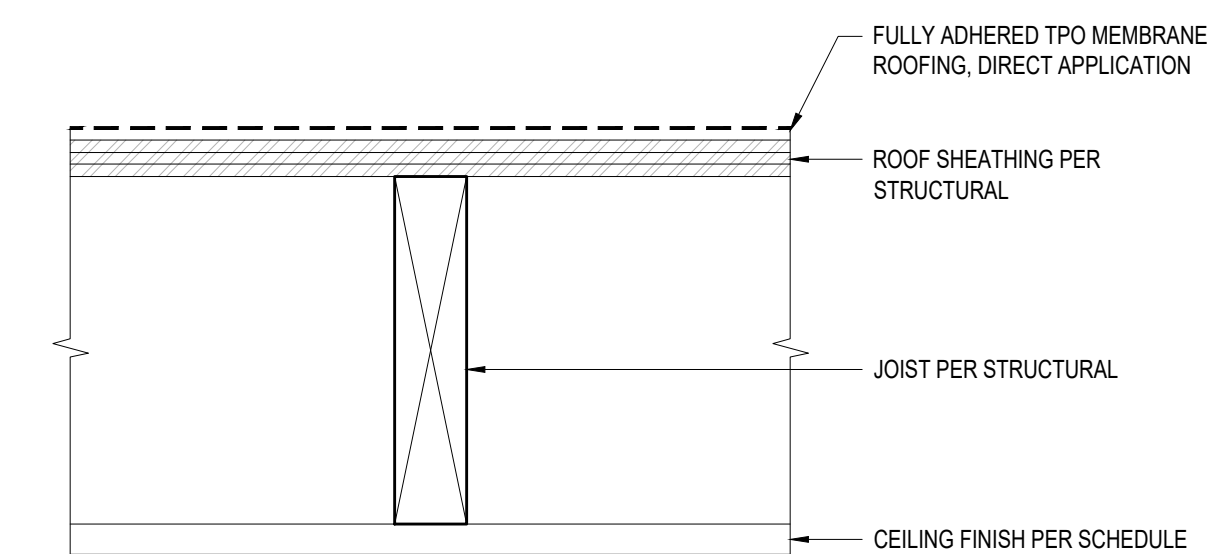
4 ROOF ASSEMBLY - R4
3\"/>

5 NOT USED
3\"/>

6 NOT USED
3\"/>

7 NOT USED
3\"/>

8 ROOF ASSEMBLY - R5
3\"/>



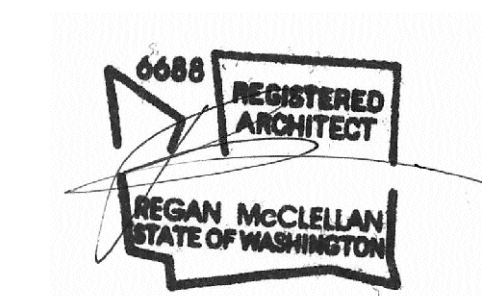
R5
ROOF ASSEMBLY:
SINGLE MEMBRANE w/o INSULATION

9 NOT USED
3\"/>

10 NOT USED
3\"/>

11 NOT USED
3\"/>

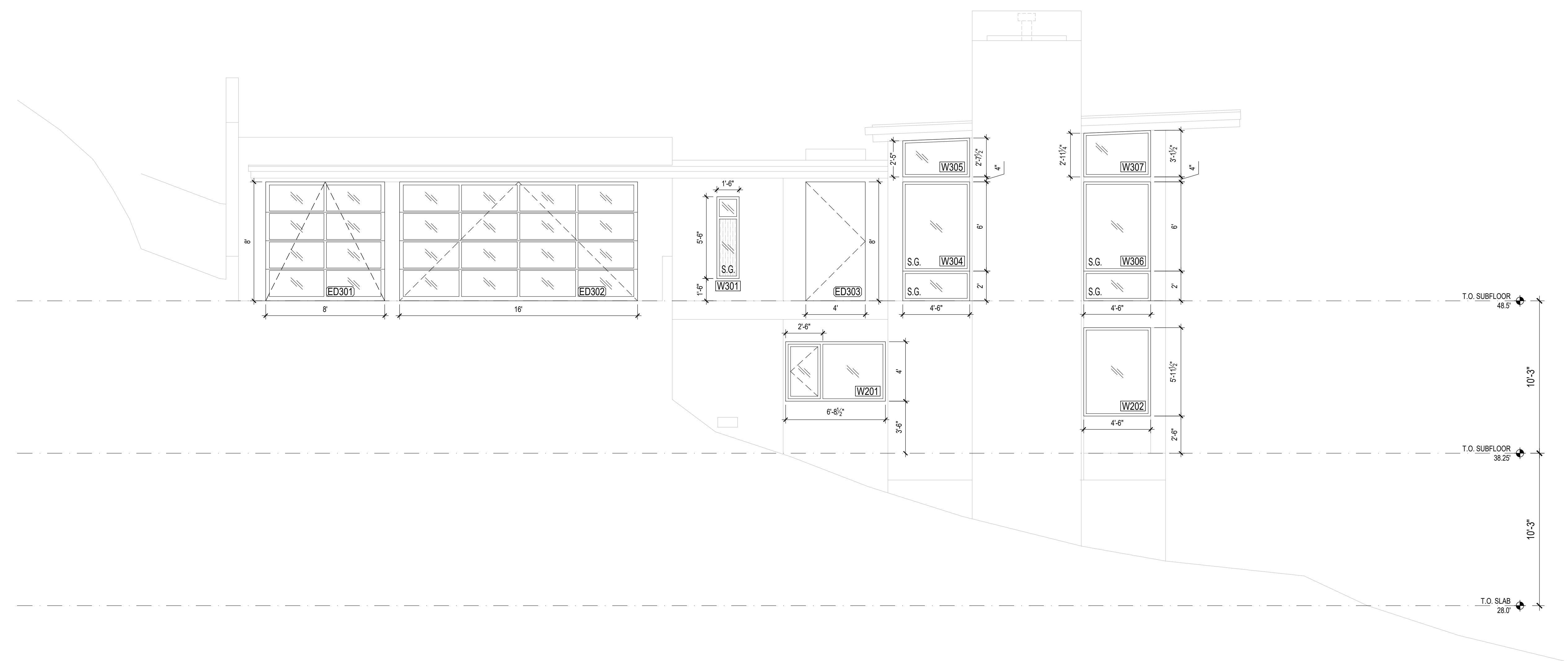
12 NOT USED
3\"/>



PROJECT:
WESTVIEW RESIDENCE
4045 W MERCER WAY
MERCER ISLAND WA 98040

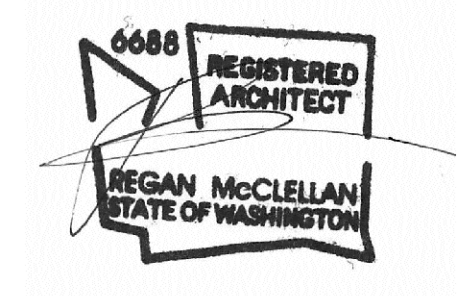
CLIENT:
MIST LLC

ISSUE:
PERMIT SUBMISSION 02.25.2022
PERMIT REVISIONS ¹ 08.12.2022
PERMIT REVISIONS ² 07.21.2023



1 NORTH ELEVATION
SCALE: 1/4"=1'-0"

WINDOW NOTES:	
<ol style="list-style-type: none"> ALL WINDOWS AND SLIDING DOORS WILL BE A DOUBLE GLAZED ALUMINUM CLAD SYSTEM WINDOWS U-VALUE: MAX 0.28 LowE II, ARGON SLIDING DOORS U-VALUE: MAX 0.28 LowE II, ARGON ALL WINDOWS AND SLIDING DOORS ARE ROUGH OPENING SIZES CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO ORDERING WINDOWS AND DOORS CONTRACTOR TO CONFIRM ALL SAFETY GLAZING COMPLIES WITH 2018 IRC R.308 THE 'NFRC' WINDOW STICKERS ARE TO BE ON EACH WINDOW AT THE TIME OF FRAMING INSPECTION 	
WINDOW KEY:	
S.G.	- SAFETY GLASS; TEMPERED
	- OBSCURE GLASS; FROSTED



DATE:
FEBRUARY 25, 2022

SHEET TITLE:
OPENING SCHEDULE

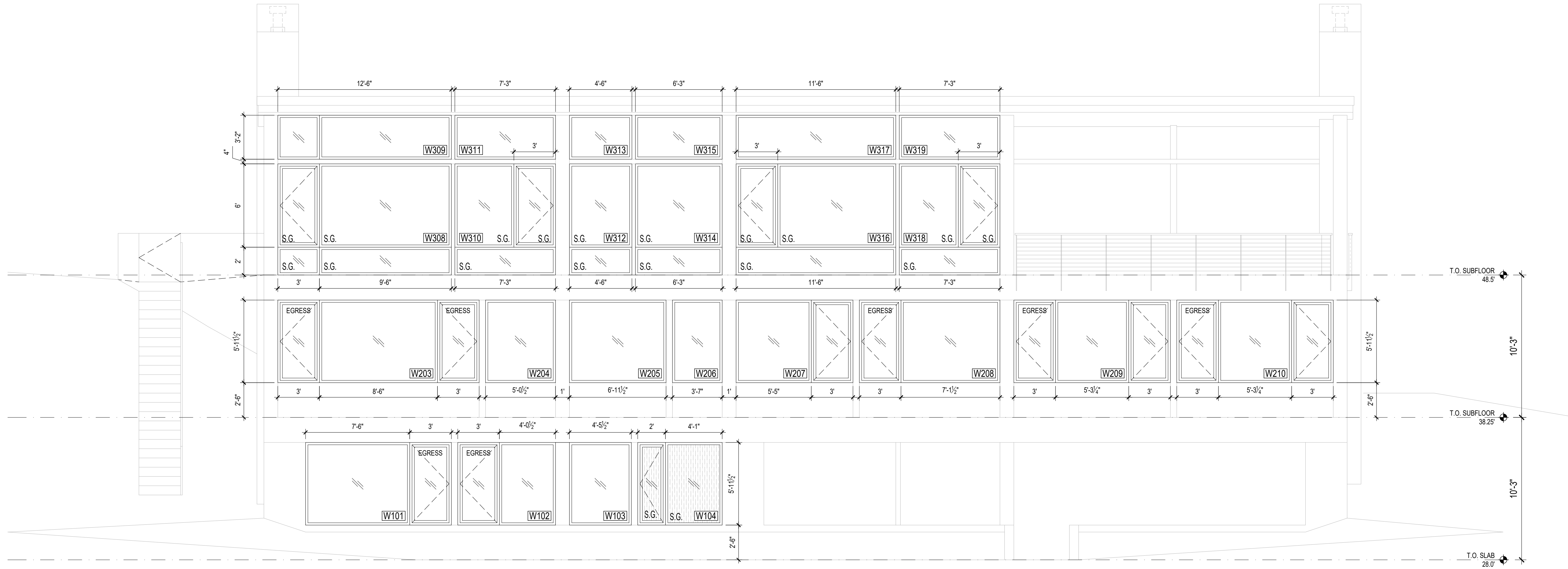
SHEET:

A6.0

PROJECT:
WESTVIEW RESIDENCE
4045 W MERCER WAY
MERCER ISLAND WA 98040

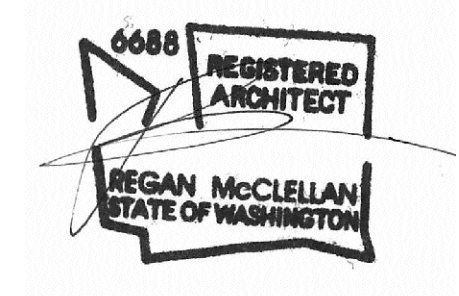
CLIENT:
MIST LLC

ISSUE:
PERMIT SUBMISSION 02.25.2022
PERMIT REVISIONS 1 08.12.2022
PERMIT REVISIONS 2 07.21.2023



1 WEST ELEVATION
SCALE: 1/4"=1'-0"

WINDOW NOTES:	
1.	ALL WINDOWS AND SLIDING DOORS WILL BE A DOUBLE GLAZED ALUMINUM CLAD SYSTEM
2.	WINDOWS U-VALUE: MAX 0.28 LowE II, ARGON
3.	SLIDING DOORS U-VALUE: MAX 0.28 LowE II, ARGON
4.	ALL WINDOWS AND SLIDING DOORS ARE ROUGH OPENING SIZES
5.	CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO ORDERING WINDOWS AND DOORS
6.	CONTRACTOR TO CONFIRM ALL SAFETY GLAZING COMPLIES WITH 2018 IRC R.308
7.	THE 'NFRC' WINDOW STICKERS ARE TO BE ON EACH WINDOW AT THE TIME OF FRAMING INSPECTION
WINDOW KEY:	
S.G.	- SAFETY GLASS; TEMPERED
[Pattern]	- OBSCURE GLASS; FROSTED

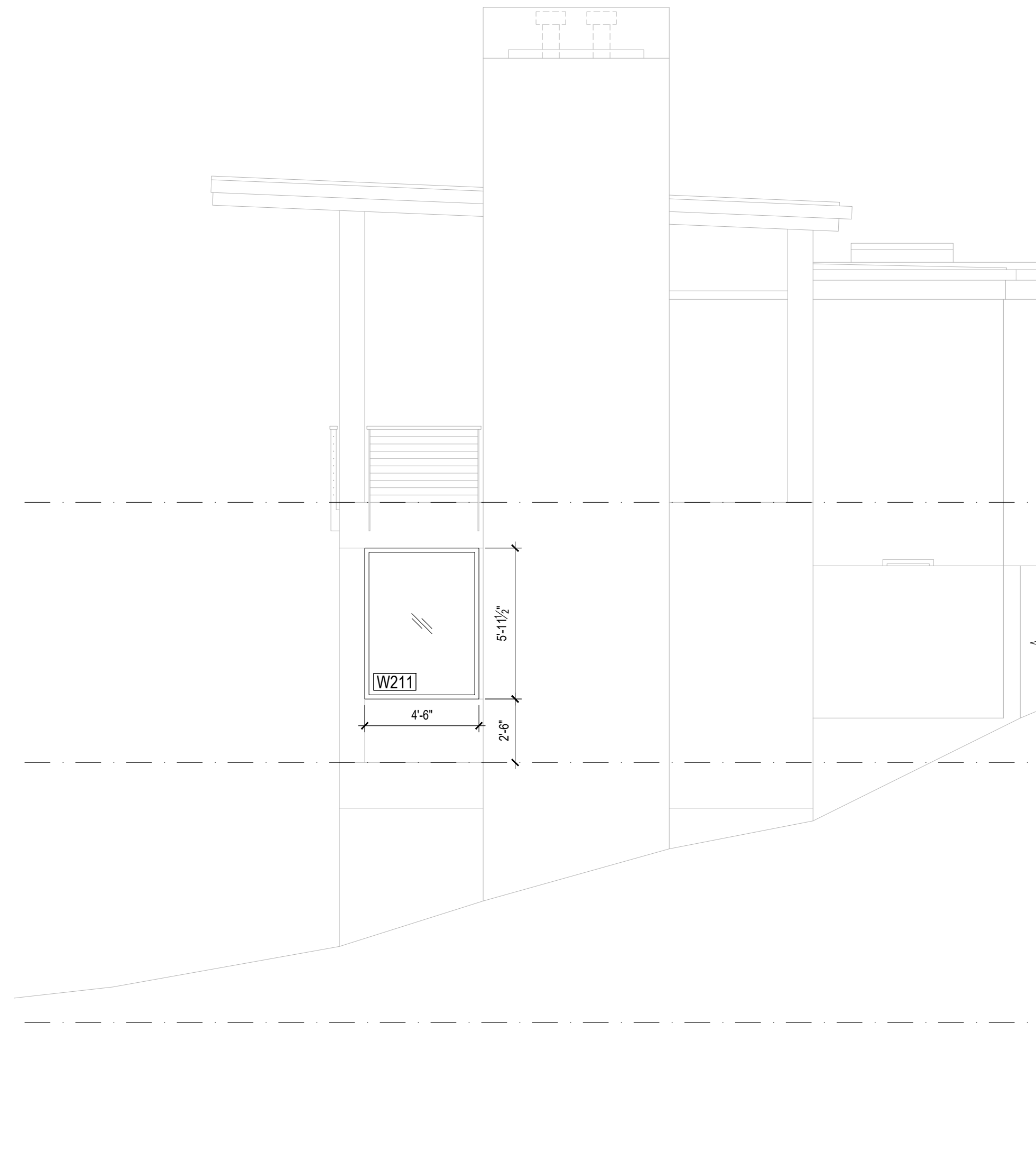


DATE:
FEBRUARY 25, 2022

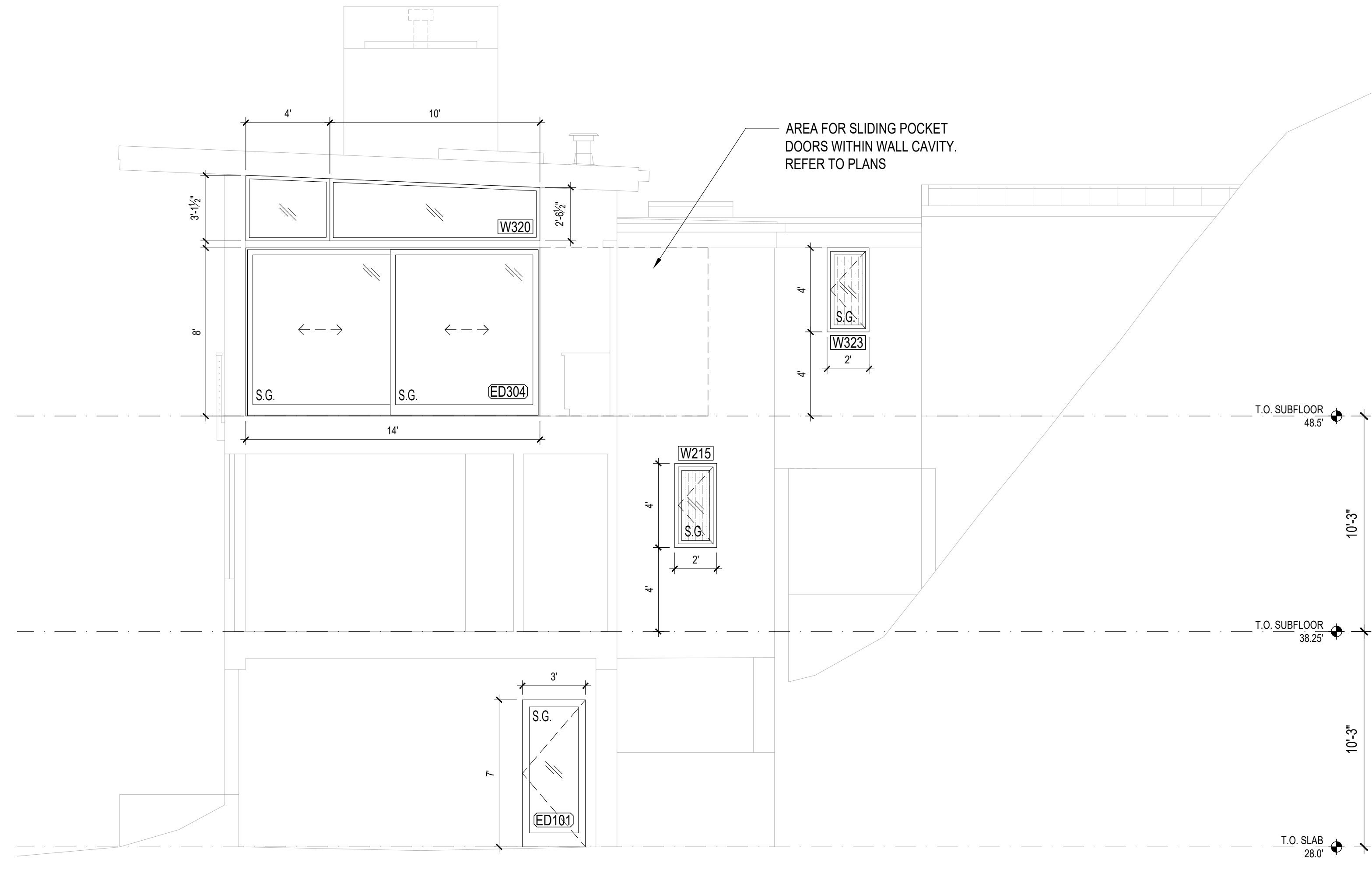
SHEET TITLE:
OPENING SCHEDULE

SHEET:

A6.1

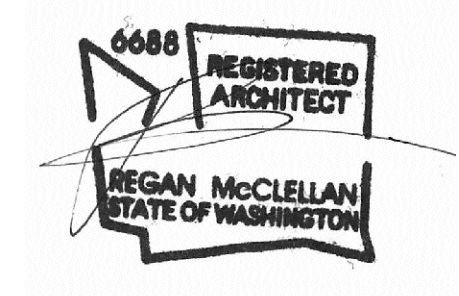


1 SOUTH ELEVATION - PARTIAL
SCALE: 1/4"=1'-0"



2 SOUTH CUTAWAY ELEVATION
SCALE: 1/4"=1'-0"

WINDOW NOTES:	
<ol style="list-style-type: none"> 1. ALL WINDOWS AND SLIDING DOORS WILL BE A DOUBLE GLAZED ALUMINUM CLAD SYSTEM 2. WINDOWS U-VALUE: MAX 0.28 LowE II, ARGON 3. SLIDING DOORS U-VALUE: MAX 0.28 LowE II, ARGON 4. ALL WINDOWS AND SLIDING DOORS ARE ROUGH OPENING SIZES 5. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO ORDERING WINDOWS AND DOORS 6. CONTRACTOR TO CONFIRM ALL SAFETY GLAZING COMPLIES WITH 2018 IRC R.308 7. THE 'NFRC' WINDOW STICKERS ARE TO BE ON EACH WINDOW AT THE TIME OF FRAMING INSPECTION 	
WINDOW KEY:	
S.G.	- SAFETY GLASS; TEMPERED
[Pattern]	- OBSCURE GLASS; FROSTED



DATE:
FEBRUARY 25, 2022

SHEET TITLE:
OPENING SCHEDULE

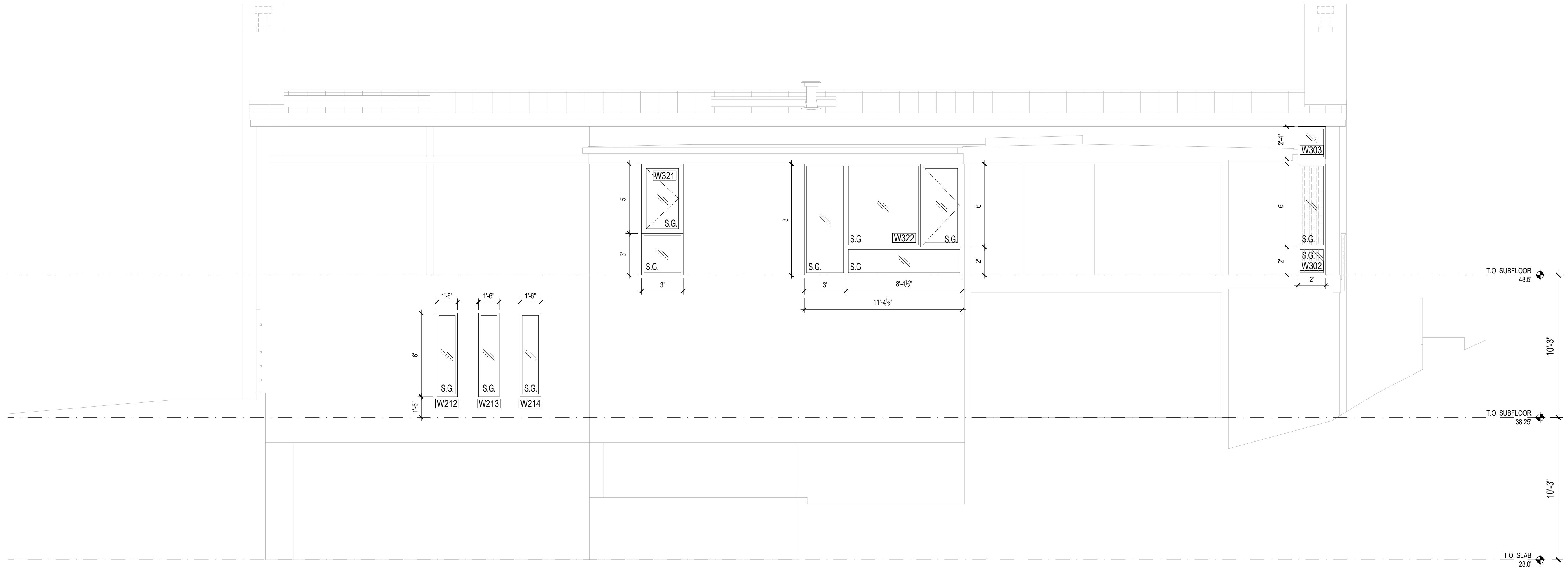
SHEET:

A6.2

PROJECT:
WESTVIEW RESIDENCE
4045 W MERCER WAY
MERCER ISLAND WA 98040

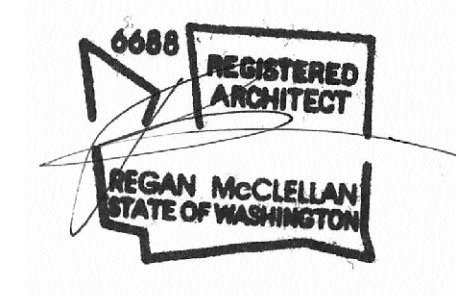
CLIENT:
MIST LLC

ISSUE:
PERMIT SUBMISSION 02.25.2022
PERMIT REVISIONS 1 08.12.2022
PERMIT REVISIONS 2 07.21.2023



1 EAST ELEVATION
SCALE: 1/4"=1'-0"

WINDOW NOTES:	
<ol style="list-style-type: none"> 1. ALL WINDOWS AND SLIDING DOORS WILL BE A DOUBLE GLAZED ALUMINUM CLAD SYSTEM 2. WINDOWS U-VALUE: MAX 0.28 LowE II, ARGON 3. SLIDING DOORS U-VALUE: MAX 0.28 LowE II, ARGON 4. ALL WINDOWS AND SLIDING DOORS ARE ROUGH OPENING SIZES 5. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO ORDERING WINDOWS AND DOORS 6. CONTRACTOR TO CONFIRM ALL SAFETY GLAZING COMPLIES WITH 2018 IRC R.308 7. THE 'NFRC' WINDOW STICKERS ARE TO BE ON EACH WINDOW AT THE TIME OF FRAMING INSPECTION 	
WINDOW KEY:	
S.G.	- SAFETY GLASS; TEMPERED
[Pattern]	- OBSCURE GLASS; FROSTED



DATE:
FEBRUARY 25, 2022

SHEET TITLE:
OPENING SCHEDULE

SHEET:

A6.3

WRITTEN DIMENSIONS:

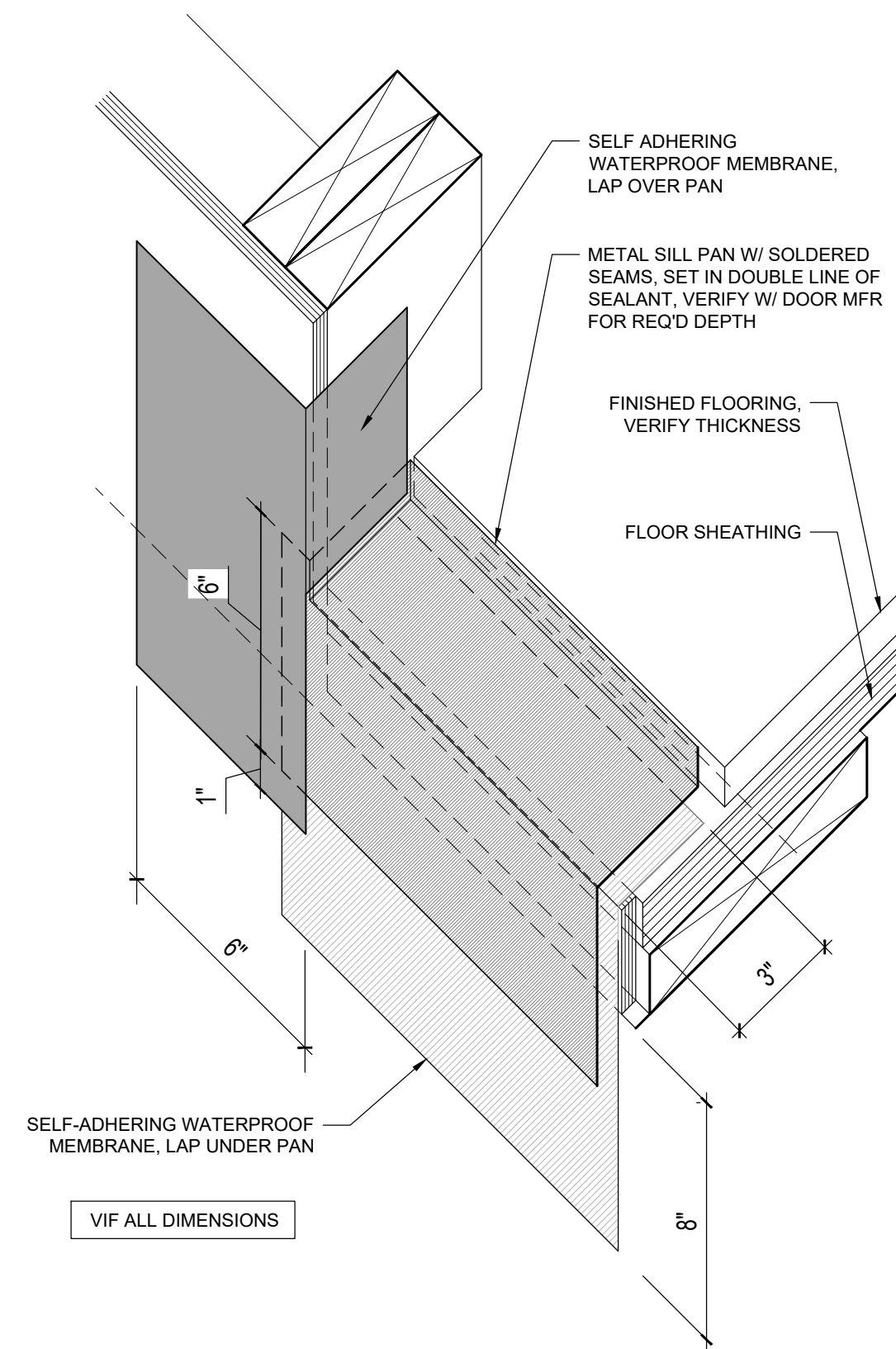
1. WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS, ETC. PERTAINING TO THE WORK BEFORE PROCEEDING. THE OWNER MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND/OR CONDITIONS SHOWN ON THESE DRAWINGS. ANY SUCH VARIATIONS SHALL BE RESOLVED BY THE OWNER PRIOR TO PROCEEDING WITH THE WORK, OR THE CONTRACTOR SHALL ACCEPT FULL RESPONSIBILITY FOR THE COST TO RECTIFY SAME.

2. MATERIAL SELECTIONS & FINISHES DENOTED DEPICT DESIGN INTENT. CONTRACTOR TO VERIFY ALL SELECTIONS AND FINISHES W/ OWNER PRIOR TO ORDERING / INSTALLING THE SAME. TYPICAL.

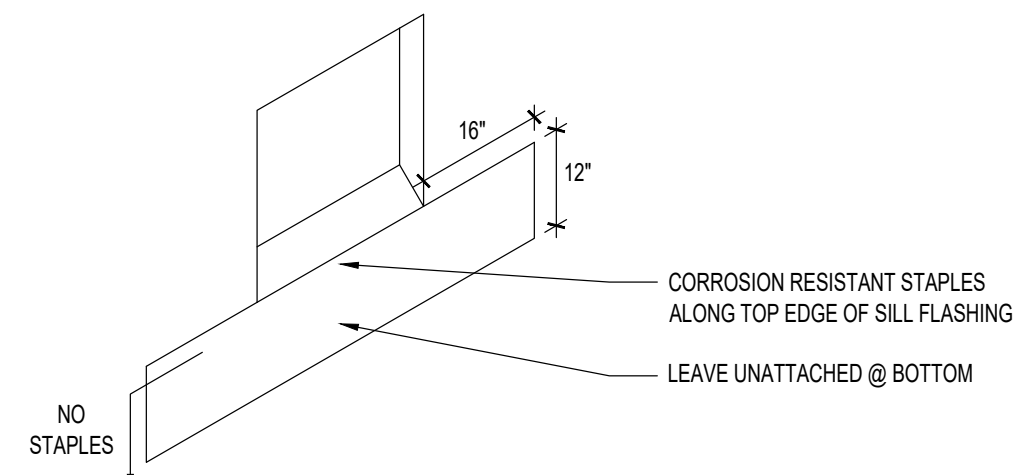
BIDDER DESIGN NOTES:

1. ALL WATERPROOFING IS SHOWN FOR DESIGN INTENT ONLY. ALL WATERPROOFING PRODUCTS AND INSTALLATION METHODS ARE BIDDER DESIGNED.

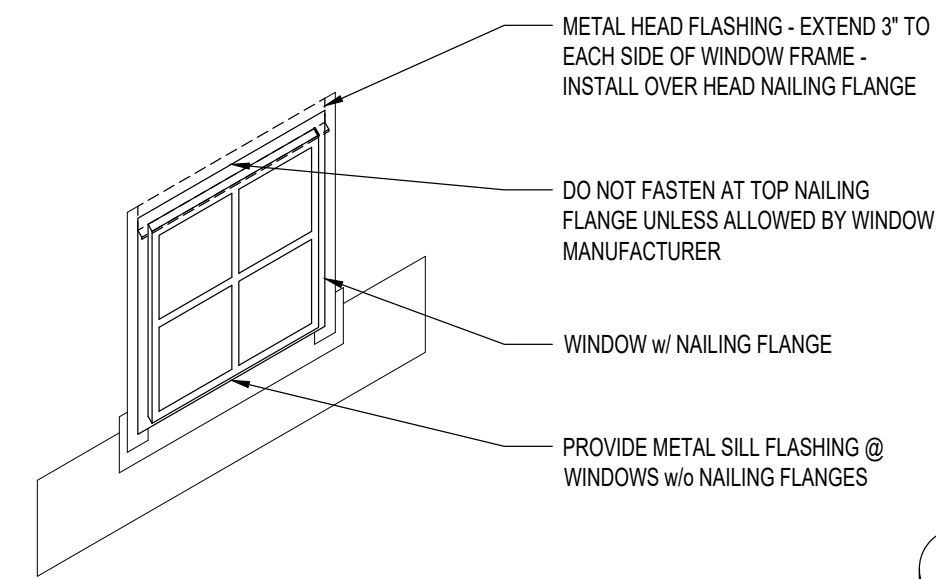
3. CONTRACTOR SHALL FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS, TYPICAL.



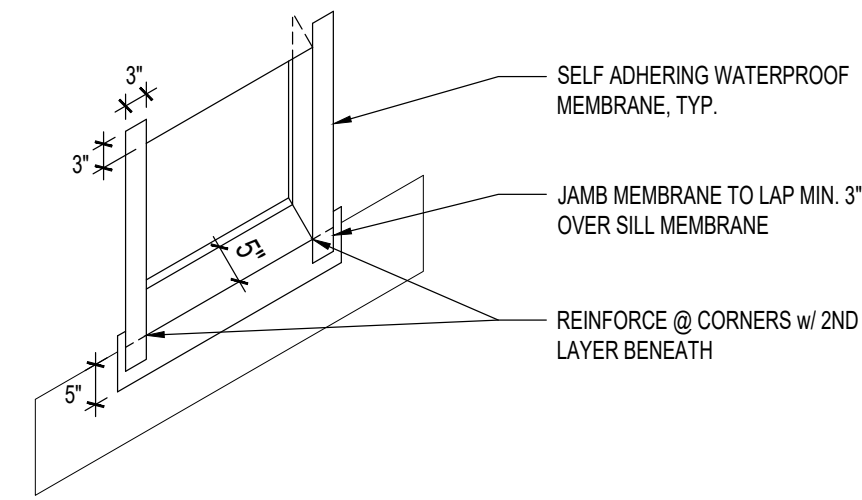
1 TYPICAL DOOR FLASHING DETAIL
3" = 1'-0"



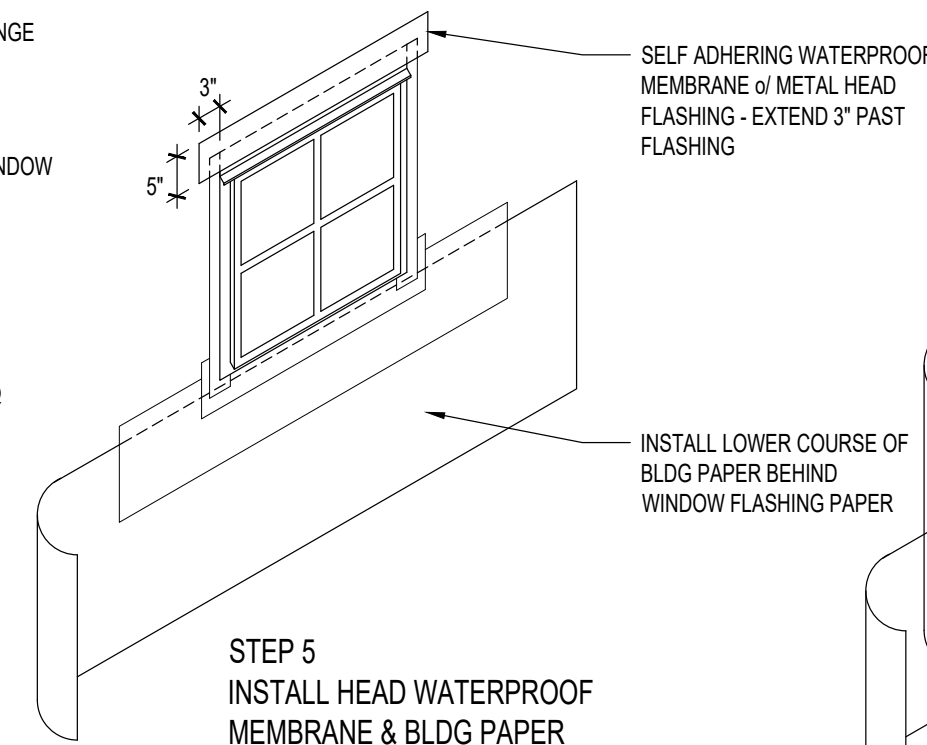
STEP 1
SILL FLASHING PAPER



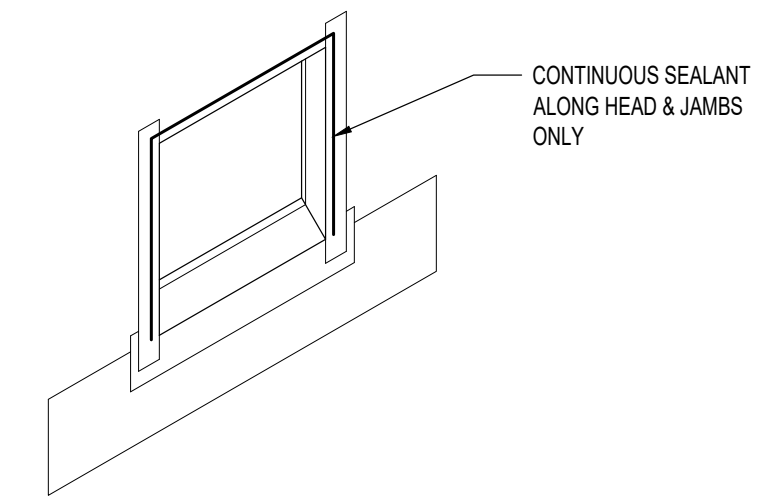
STEP 4
INSTALL WINDOW &
HEAD FLASHING



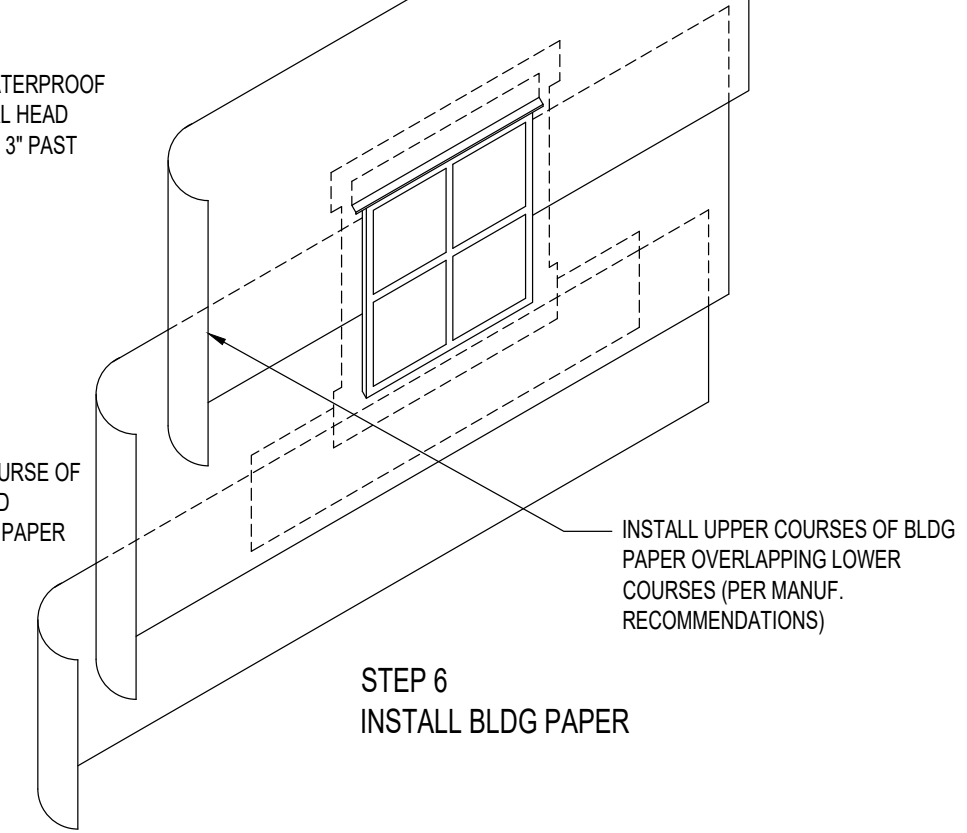
STEP 2
SILL & JAMB WATERPROOF
MEMBRANE



STEP 5
INSTALL HEAD WATERPROOF
MEMBRANE & BLDG PAPER

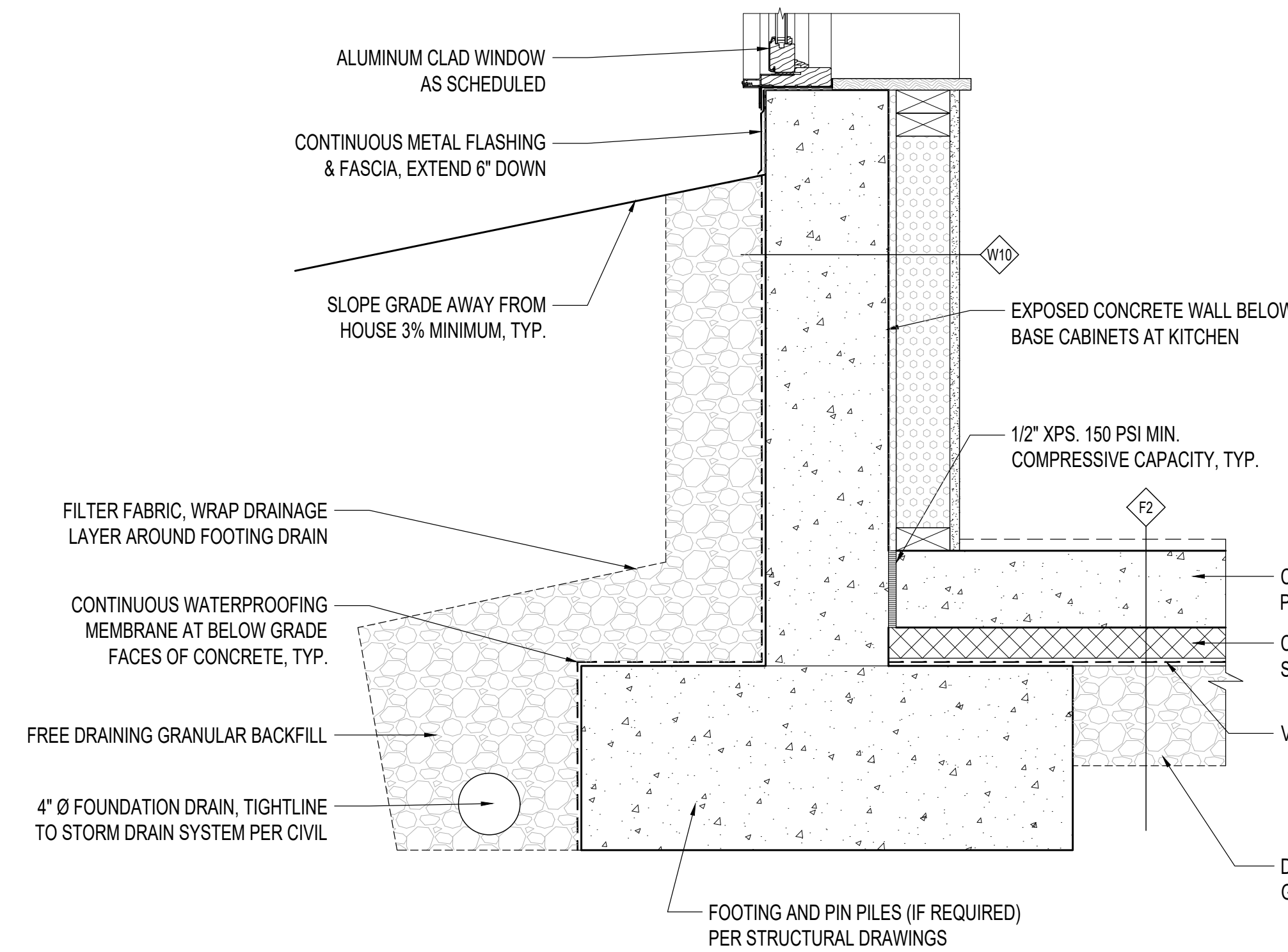


STEP 3
HEAD & JAMB
SEALANT

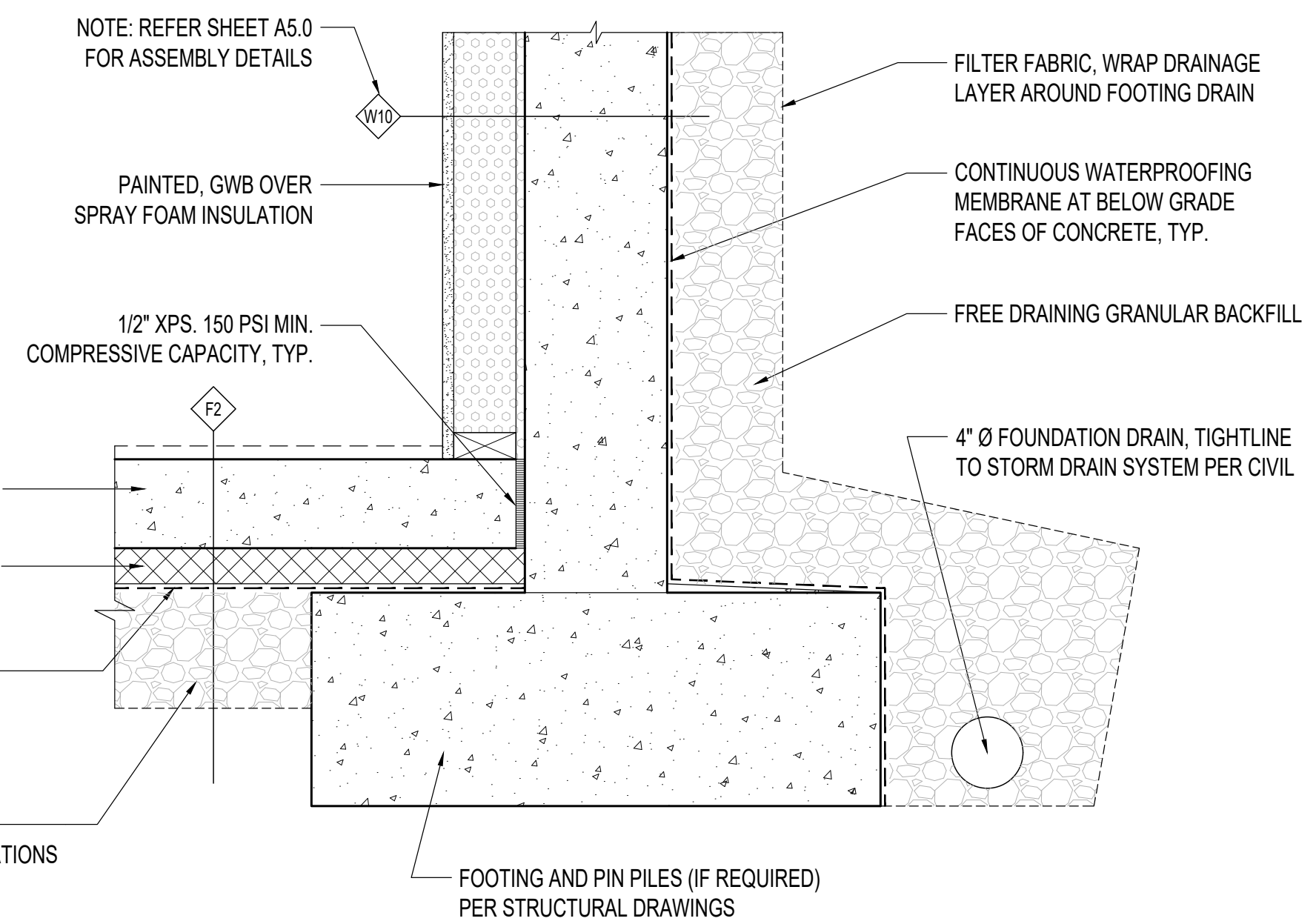


STEP 6
INSTALL BLDG PAPER

2 TYPICAL WINDOW FLASHING DETAILS
1/2" = 1'-0"



3 FOUNDATION DETAIL
1-1/2" = 1'-0"

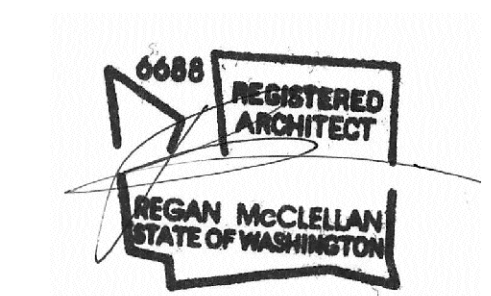


4 FOUNDATION DETAIL
1-1/2" = 1'-0"

PROJECT:
WESTVIEW RESIDENCE
4045 W MERCER WAY
MERCER ISLAND WA 98040

CLIENT:
MIST LLC

ISSUE:
PERMIT SUBMISSION 02.25.2022
PERMIT REVISIONS 1 08.12.2022
PERMIT REVISIONS 2 07.21.2023



DATE:
FEBRUARY 25, 2022

SHEET TITLE:
TYPICAL DETAILS

SHEET:

A8.0

WRITTEN DIMENSIONS:

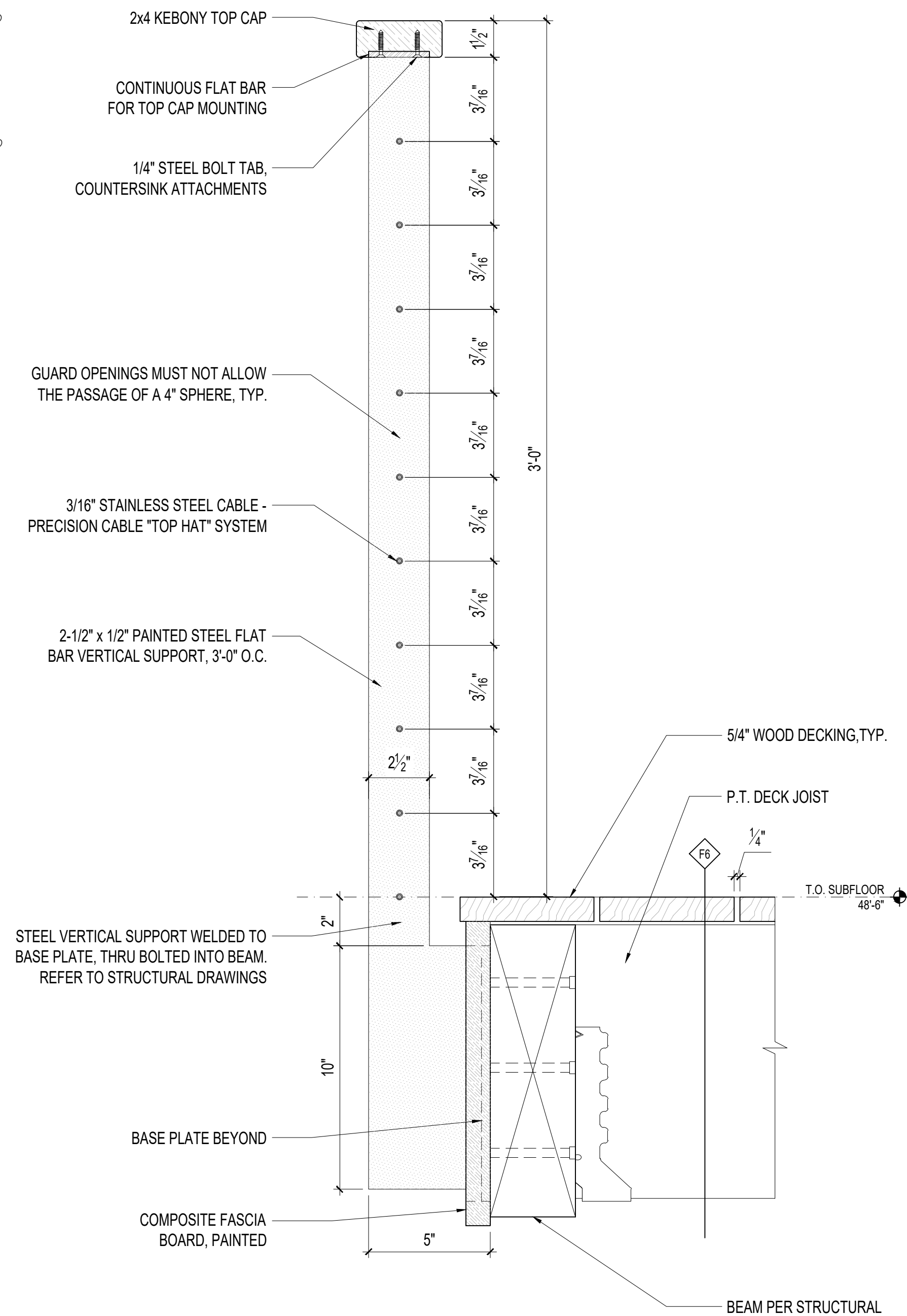
1. WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS, ETC. PERTAINING TO THE WORK BEFORE PROCEEDING. THE OWNER MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND/OR CONDITIONS SHOWN ON THESE DRAWINGS. ANY SUCH VARIATIONS SHALL BE RESOLVED BY THE OWNER PRIOR TO PROCEEDING WITH THE WORK, OR THE CONTRACTOR SHALL ACCEPT FULL RESPONSIBILITY FOR THE COST TO RECTIFY SAME.

2. MATERIAL SELECTIONS & FINISHES DENOTED DEPICT DESIGN INTENT. CONTRACTOR TO VERIFY ALL SELECTIONS AND FINISHES W/ OWNER PRIOR TO ORDERING / INSTALLING THE SAME. TYPICAL.

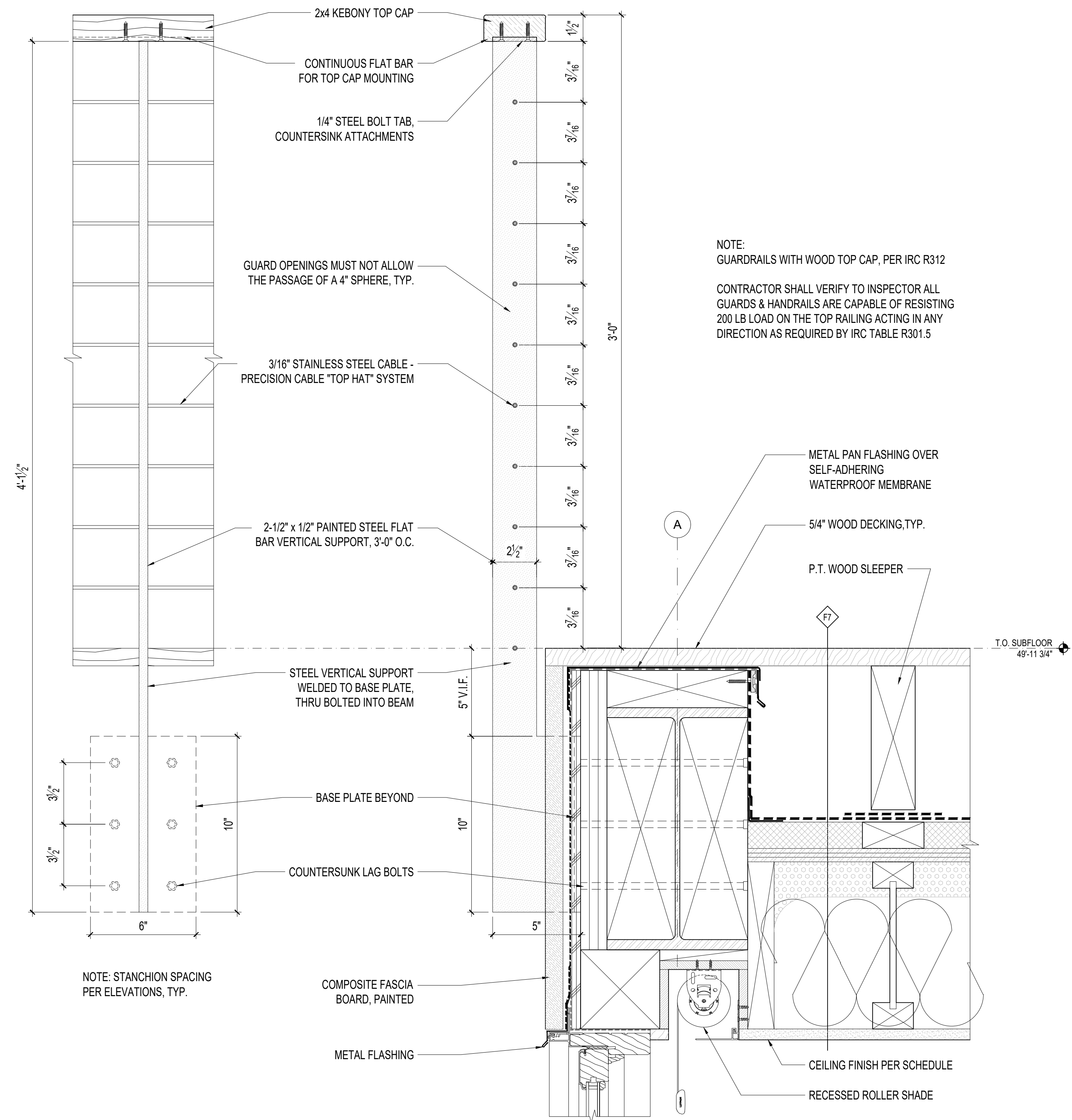
BIDDER DESIGN NOTES:

1. ALL WATERPROOFING IS SHOWN FOR DESIGN INTENT ONLY. ALL WATERPROOFING PRODUCTS AND INSTALLATION METHODS ARE BIDDER DESIGNED.

3. CONTRACTOR SHALL FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS, TYPICAL.



1 GUARDRAIL AT ENTRY BRIDGE
3\"/>



2 GUARDRAIL AT TERRACE
3\"/>

3 GUARDRAIL AT TERRACE
3\"/>

NOTE:
GUARDRAILS WITH WOOD TOP CAP, PER IRC R312

CONTRACTOR SHALL VERIFY TO INSPECTOR ALL GUARDS & HANDRAILS ARE CAPABLE OF RESISTING 200 LB LOAD ON THE TOP RAILING ACTING IN ANY DIRECTION AS REQUIRED BY IRC TABLE R301.5

PROJECT:
WESTVIEW RESIDENCE
4045 W MERCER WAY
MERCER ISLAND WA 98040

CLIENT:
MIST LLC

ISSUE:
PERMIT SUBMISSION 02.25.2022
PERMIT REVISIONS 1 08.12.2022
PERMIT REVISIONS 2 07.21.2023

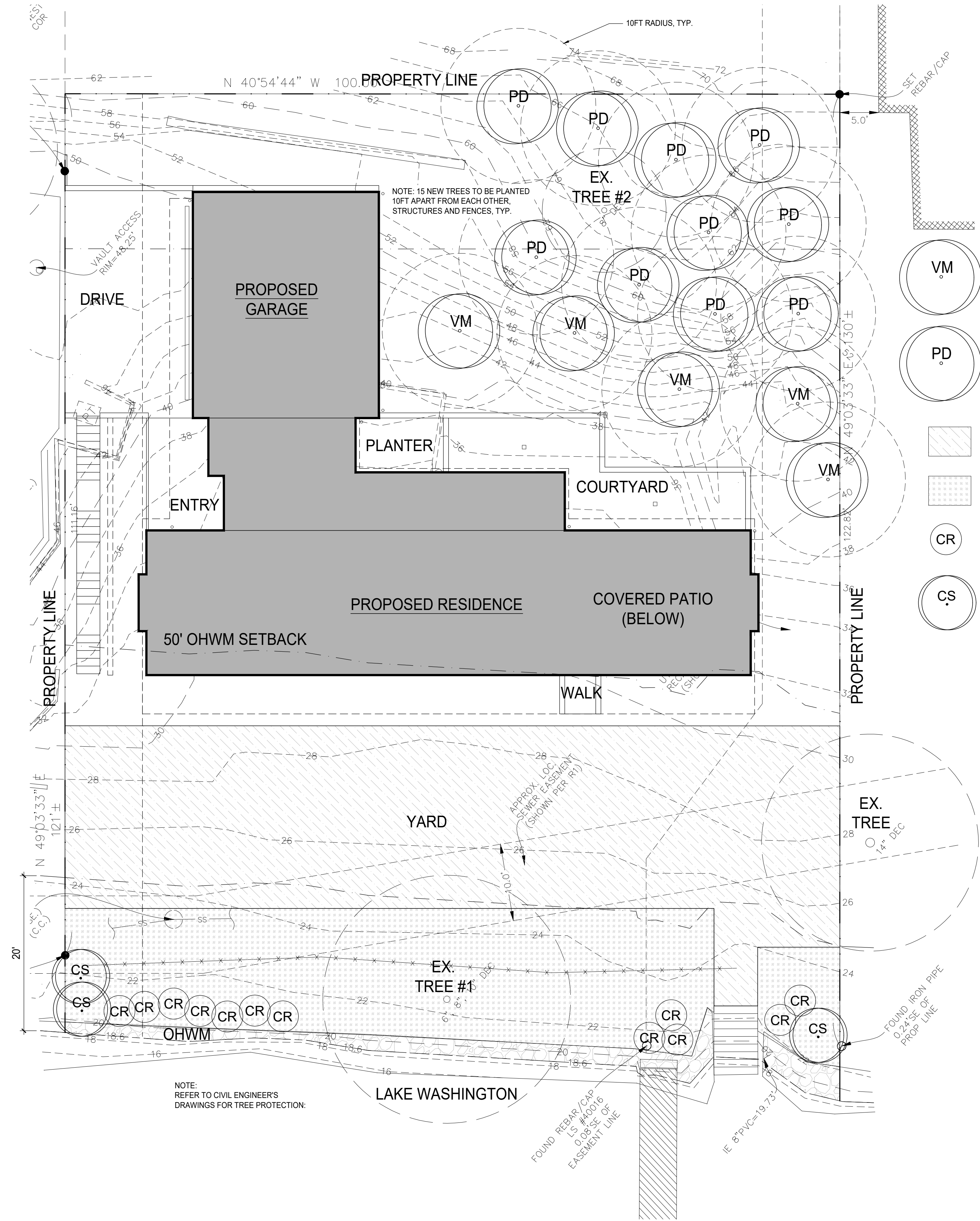


DATE:
FEBRUARY 25, 2022

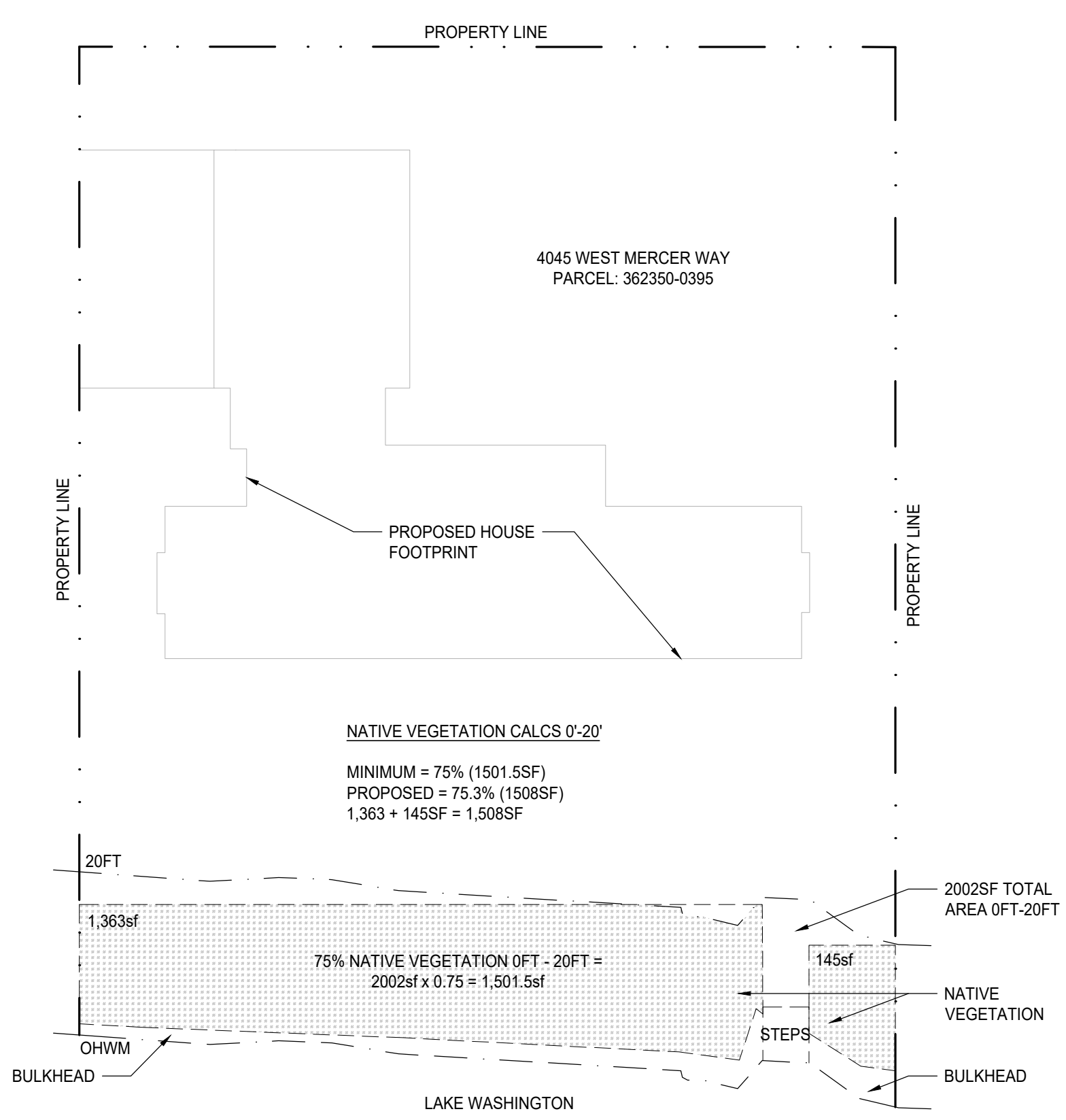
SHEET TITLE:
TYPICAL DETAILS

SHEET:

A8.1

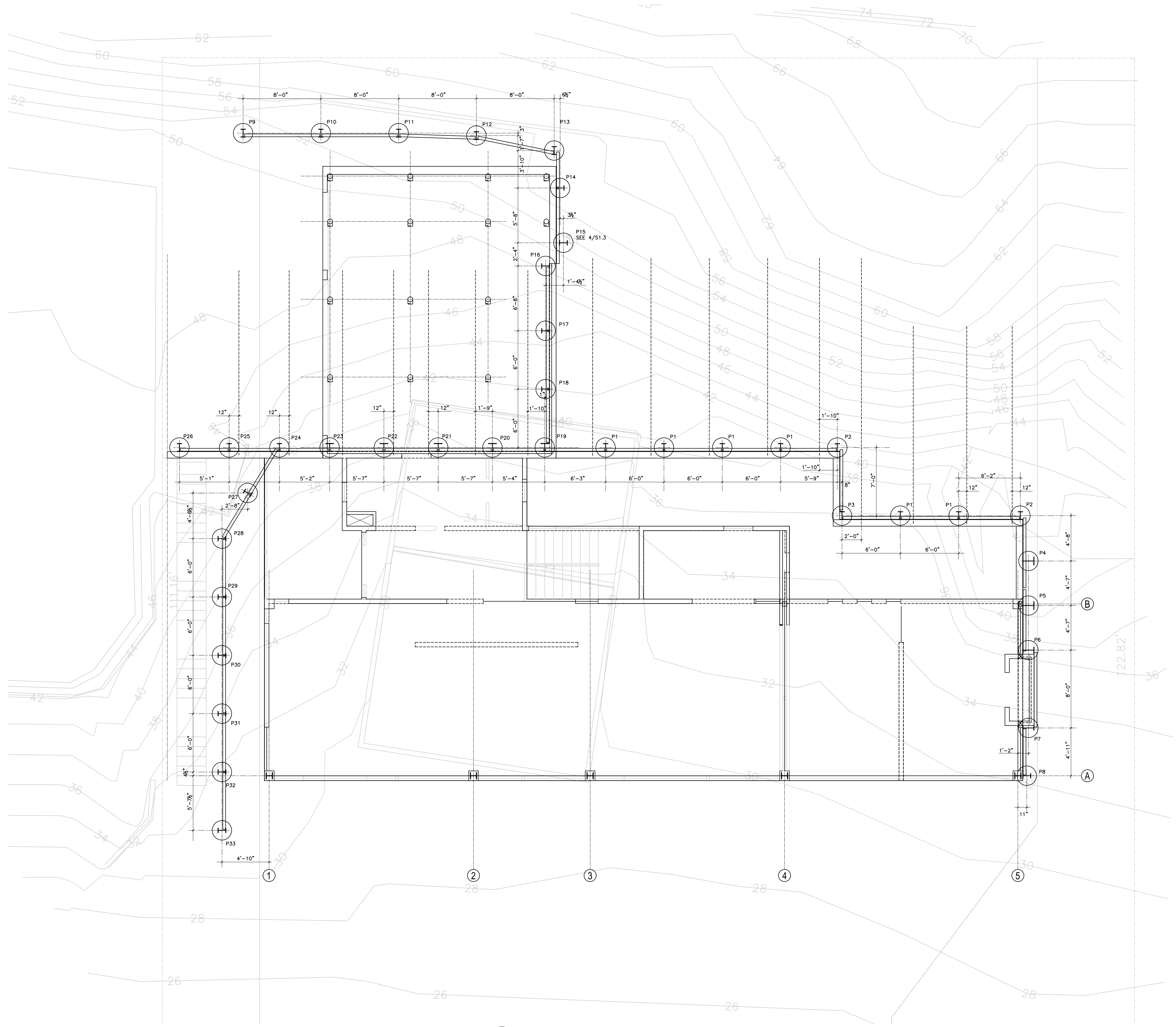


- VM VINE MAPLE
ACER CIRCINATUM
- PD PACIFIC DOGWOOD
CORNUS NUTALLII
- CR CLUSTER ROSE
ROSA PISOCARPA
- CS RED TWIG DOGWOOD
CORNUS SERICEA
- LAWN
- BEACH STRAWBERRY



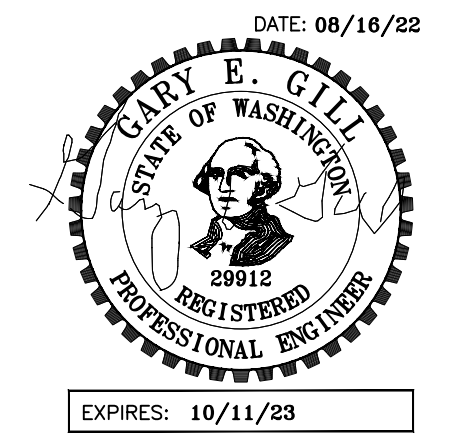
2 NATIVE VEGETATION
SCALE: 1/16"=1'-0"

1 SITE PLAN - PLANTING
SCALE: 1/8"=1'-0"



1 SHORING PLAN

GARY GILL, SE
 1125 NE 152nd STREET
 SHORELINE, WA 98155
 PH: 206-992-2728
 GILL26608@YAHOO.COM
 COPYRIGHT 2016 McCLELLAN ARCHITECTS



PROJECT:
 WEST VIEW RESIDENCE
 4045 WEST MERCER WAY
 MERCER ISLAND, WA 98040

CLIENT:
 FERAS ALROUK
 7683 SE 27th STREET UNIT #418
 MERCER ISLAND, WA 98040

ISSUE:
 PERMIT SUBMITTAL 02-26-2022
 PERMIT COMMENTS RESPONSE
 08-16-2022

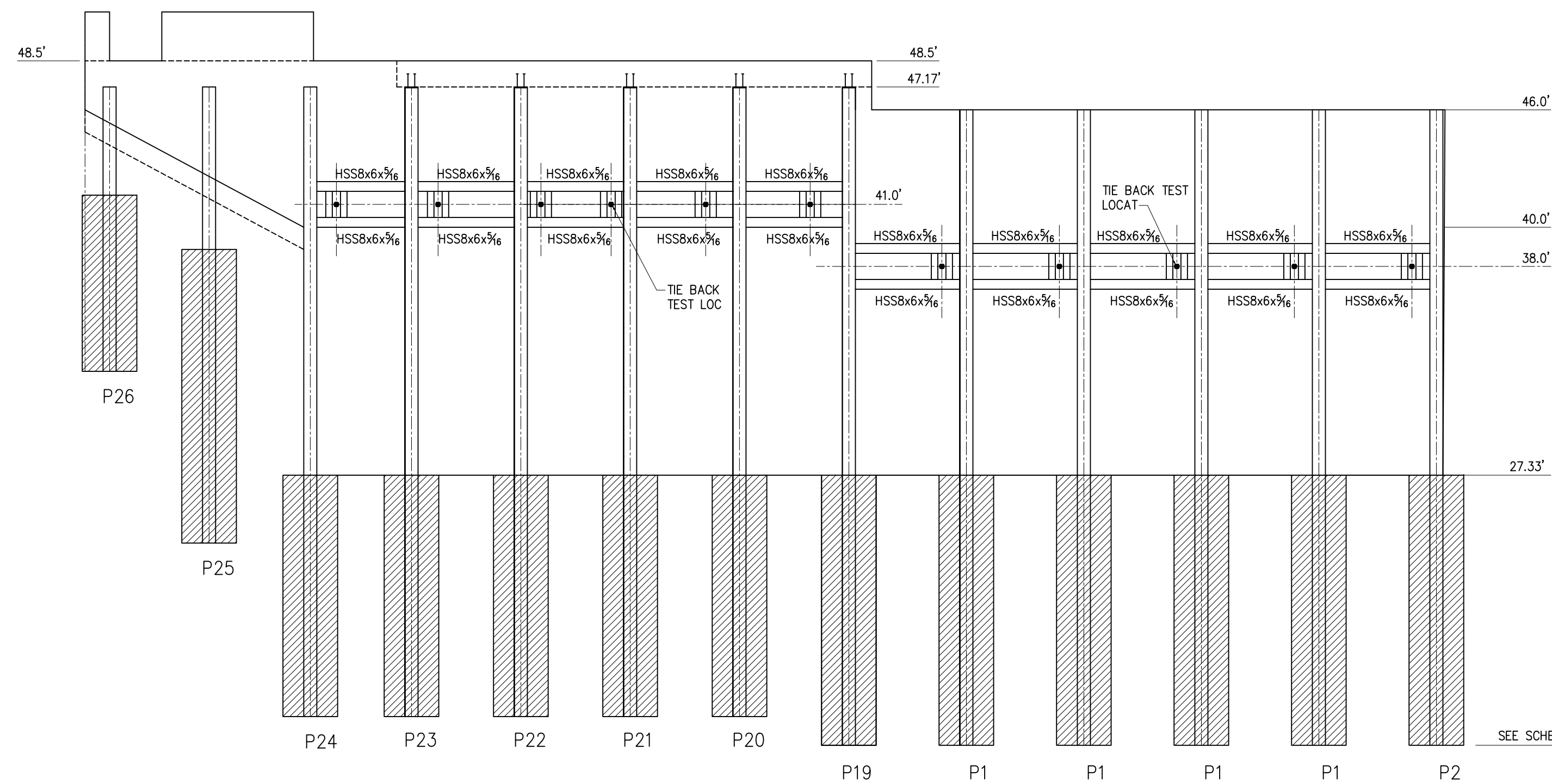
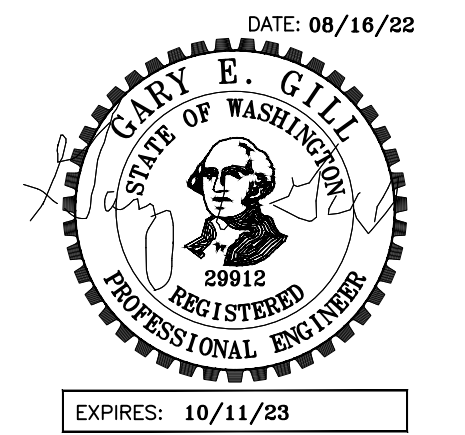
DATE:
26 FEB 2022

SHEET TITLE:
 SHORING PLAN

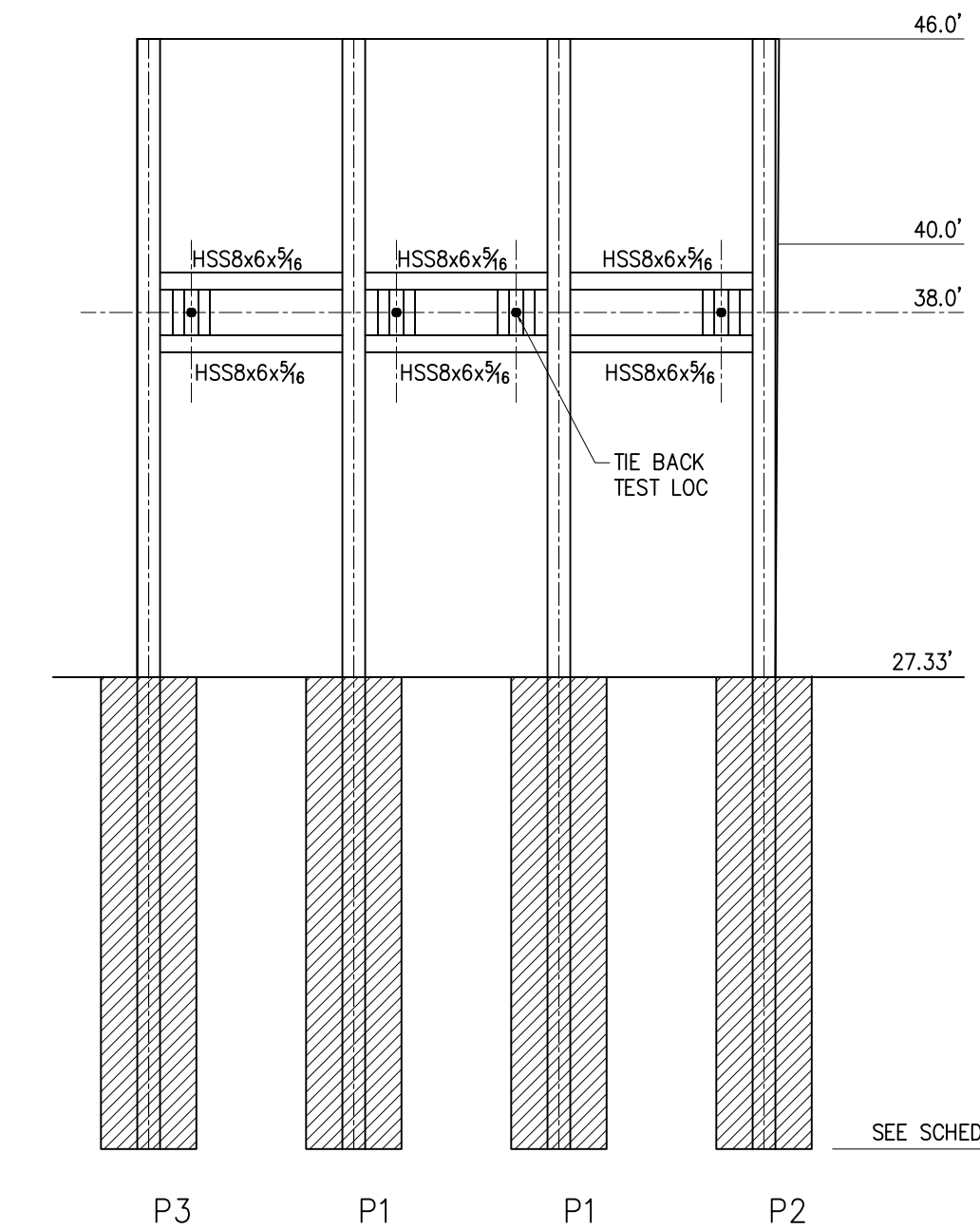
SHEET:
 S1.1

GARY GILL, SE
 1125 NE 152nd STREET
 SHORELINE, WA 98155
 PH: 206-992-2728
 GILL26608@YAHOO.COM

COPYRIGHT 2016 McCLELLAN ARCHITECTS



SHORING WALL ELEV

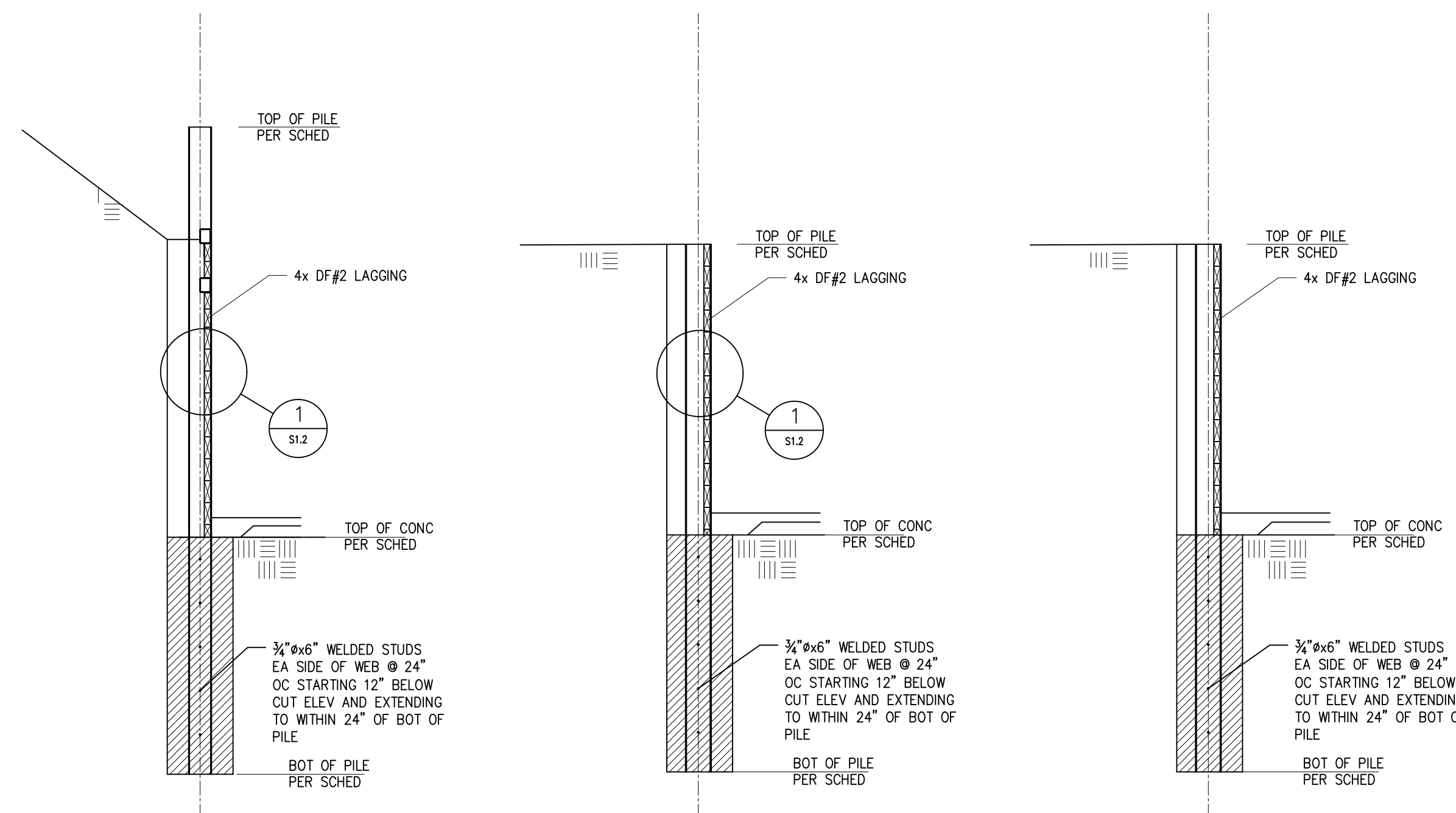


SHORING WALL ELEV

PROJECT:
 WEST VIEW RESIDENCE
 4045 WEST MERCER WAY
 MERCER ISLAND, WA 98040

CLIENT:
 FERAS ALROUK
 7683 SE 27th STREET UNIT #418
 MERCER ISLAND, WA 98040

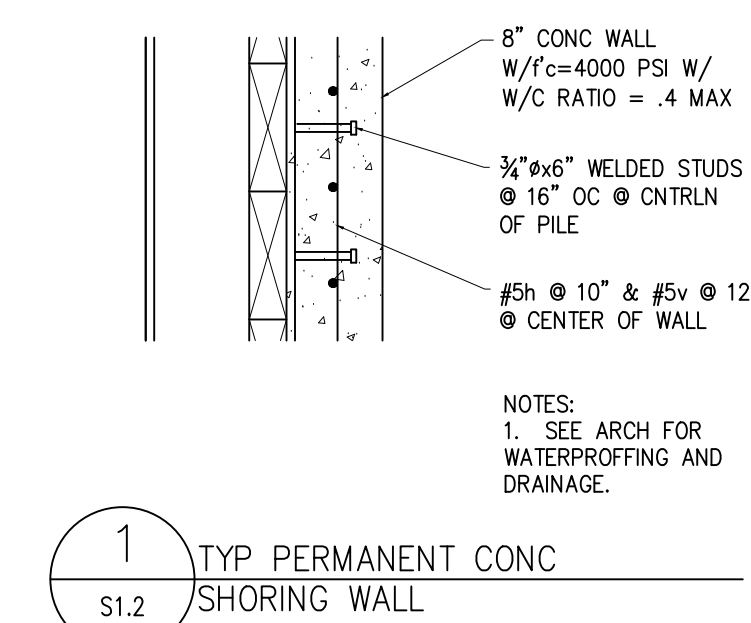
ISSUE:
 PERMIT SUBMITTAL 02-26-2022
 PERMIT COMMENTS RESPONSE
 08-16-2022



TYP PERMANENT SHORING WALL W/TIEBACKS

TYP PERMANENT SHORING WALL W/O TIEBACKS

TYP TEMPORARY SHORING WALL W/O TIEBACKS



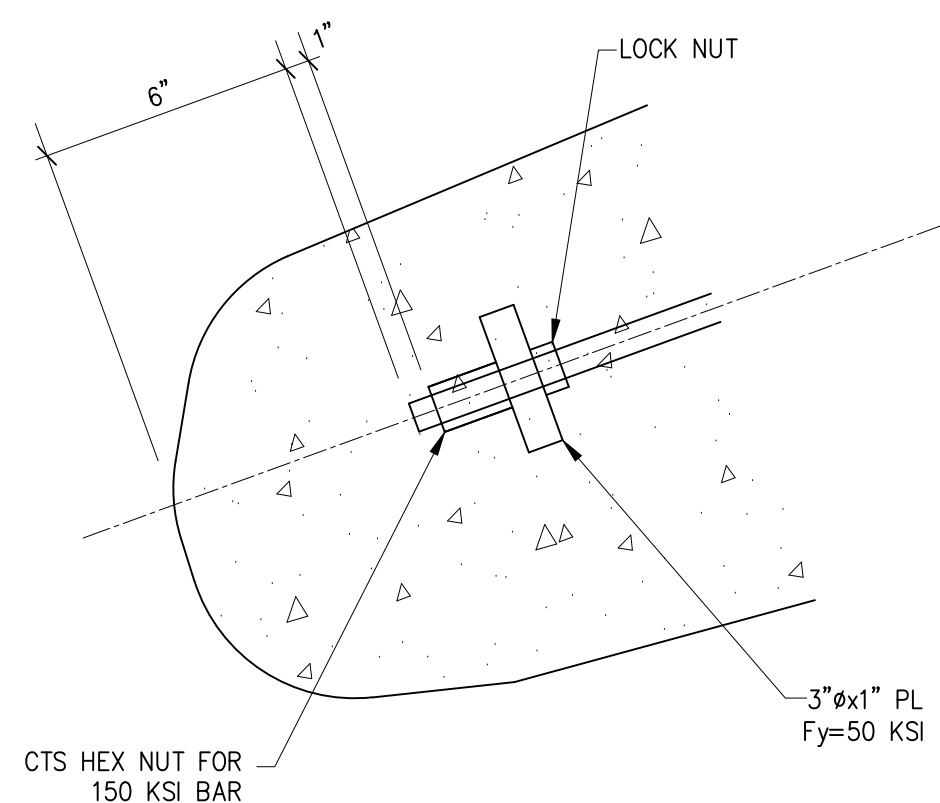
1 TYP PERMANENT CONC SHORING WALL

DATE:
26 FEB 2022

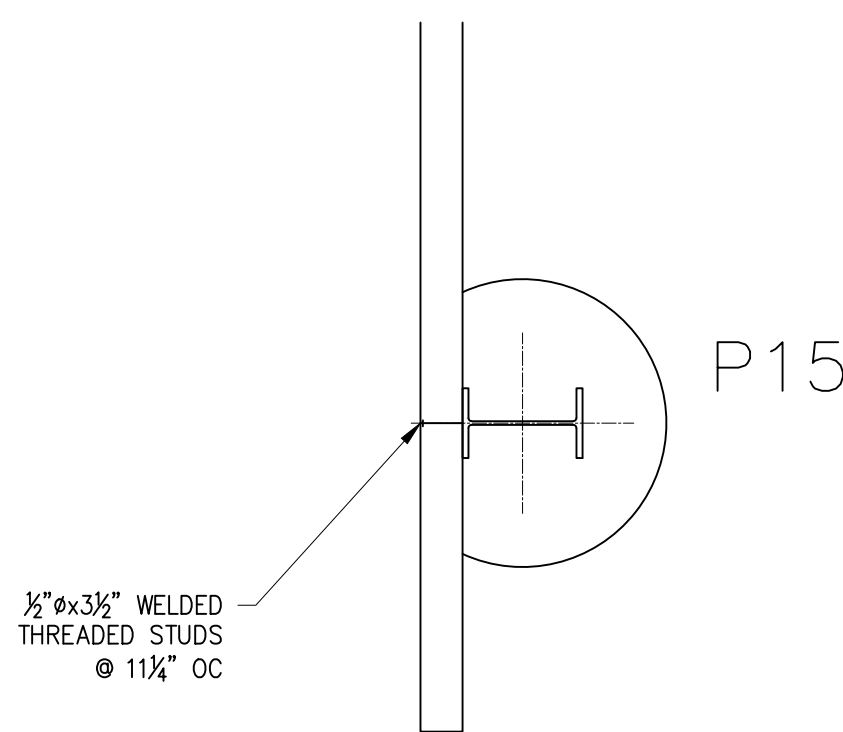
SHEET TITLE:
 SHORING ELEV

& TYP SECTIONS
 SHEET:

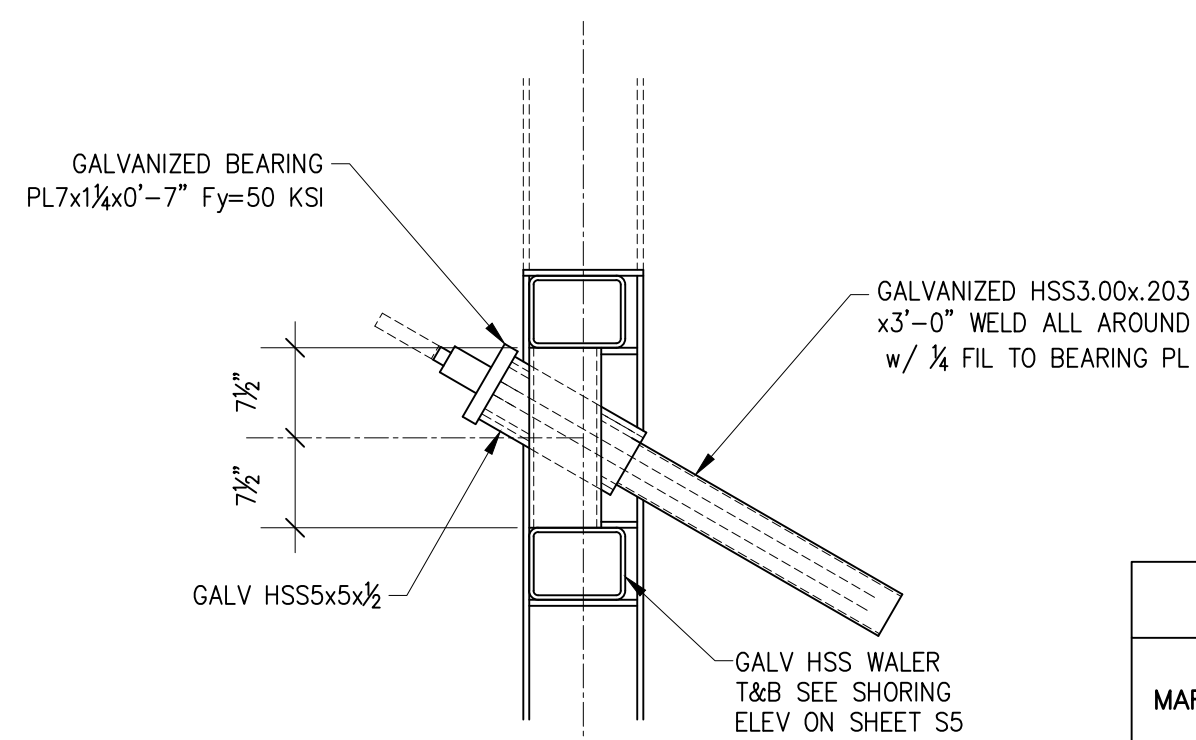
S1.2



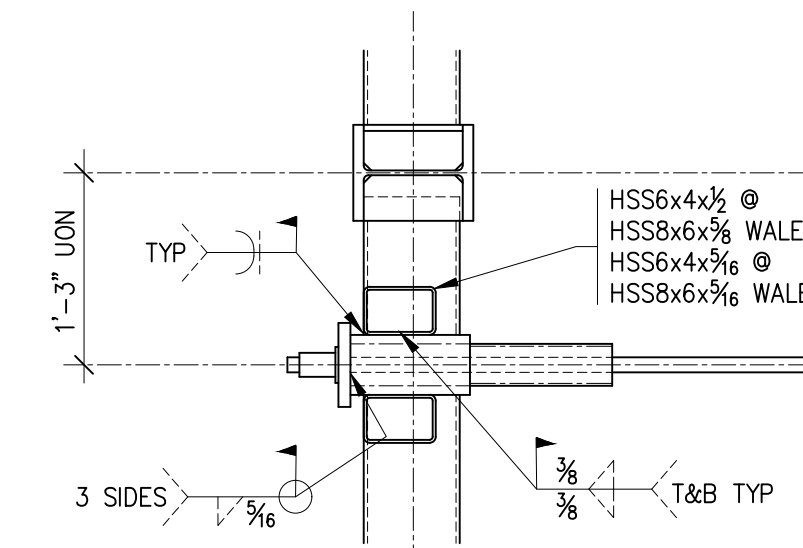
5 SECTION
S1.3 SCALE: 3/4" = 1'-0"



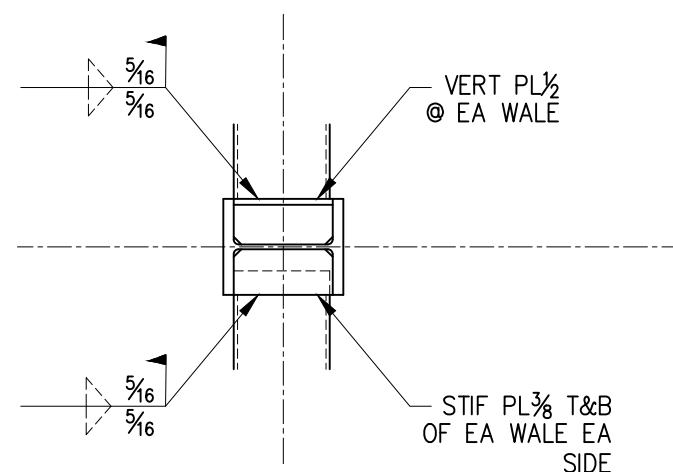
4 SECTION
S1.3 SCALE: 3/4" = 1'-0"



10 SECTION
S1.3 SCALE: 3/4" = 1'-0"



15 SECTION
S4.3 SCALE: 3/4" = 1'-0"



20 SECTION
S4.3 SCALE: 3/4" = 1'-0"

19 SOLDIER PILE AND TIE BACK SCHEDULES
S1.3 SCALE: 3/4" = 1'-0"

SOLDIER PILE SCHEDULE						
MARK	DIA	SIZE	TOP OF PILE	TOP OF CONC	BOT OF PILE	TIE BACK
P1	2'-0"	W10x39	48'-0"	27'-4"	13'-6"	T1
P2	2'-0"	W10x39	48'-0"	27'-4"	13'-6"	T1
P3	2'-0"	W10x39	48'-0"	27'-4"	13'-6"	T2
P4	2'-0"	W14x61	42'-0"	27'-4"	10'-0"	NONE
P5	2'-0"	W14x61	41'-0"	26'-6"	9'-4"	NONE
P6	2'-0"	W14x43	40'-0"	26'-6"	11'-4"	NONE
P7	2'-0"	W14x26	37'-0"	26'-6"	15'-4"	NONE
P8	2'-0"	W10x12	34'-0"	26'-6"	19'-0"	NONE
P9	2'-0"	W10x12	52'-0"	47'-2"	41'-6"	NONE
P10	2'-0"	W10x12	53'-0"	47'-2"	39'-3"	NONE
P11	2'-0"	W10x15	54'-0"	47'-2"	37'-8"	NONE
P12	2'-0"	W10x26	58'-0"	47'-2"	36'-0"	NONE
P13	2'-0"	W10x26	58'-0"	47'-2"	36'-0"	NONE
P14	2'-0"	W10x15	56'-0"	47'-2"	38'-0"	NONE
P15	2'-0"	W10x12	53'-0"	47'-2"	39'-9"	NONE
P16	2'-0"	W10x12	47'-2"	44'-0"	38'-6"	NONE
P17	2'-0"	W10x19	47'-2"	40'-6"	30'-3"	NONE
P18	2'-0"	W10x39	47'-2"	38'-6"	26'-6"	NONE
P19	2'-0"	W10x39	47'-2"	27'-4"	17'-4"	T3
P20	2'-0"	W10x49	47'-2"	27'-4"	17'-4"	T3
P21	2'-0"	W10x49	47'-2"	27'-4"	17'-4"	T3
P22	2'-0"	W10x49	47'-2"	27'-4"	17'-4"	T3
P23	2'-0"	W10x49	47'-2"	27'-4"	15'-0"	T3
P24	2'-0"	W10x77	47'-6"	27'-4"	15'-0"	T4
P25	2'-0"	W10x54	47'-6"	38'-0"	24'-0"	NONE
P26	2'-0"	W10x22	47'-6"	40'-0"	30'-0"	NONE
P27	2'-0"	W10x68	40'-0"	26'-6"	12'-0"	NONE
P28	2'-0"	W10x88	40'-0"	26'-6"	12'-9"	NONE
P29	2'-0"	W10x100	40'-0"	26'-6"	10'-3"	NONE
P30	2'-0"	W10x77	38'-0"	26'-6"	11'-8"	NONE
P31	2'-0"	W10x30	36'-0"	26'-6"	15'-9"	NONE
P32	2'-0"	W10x15	34'-0"	26'-6"	18'-9"	NONE
P33	2'-0"	W10x12	32'-0"	26'-6"	21'-0"	NONE

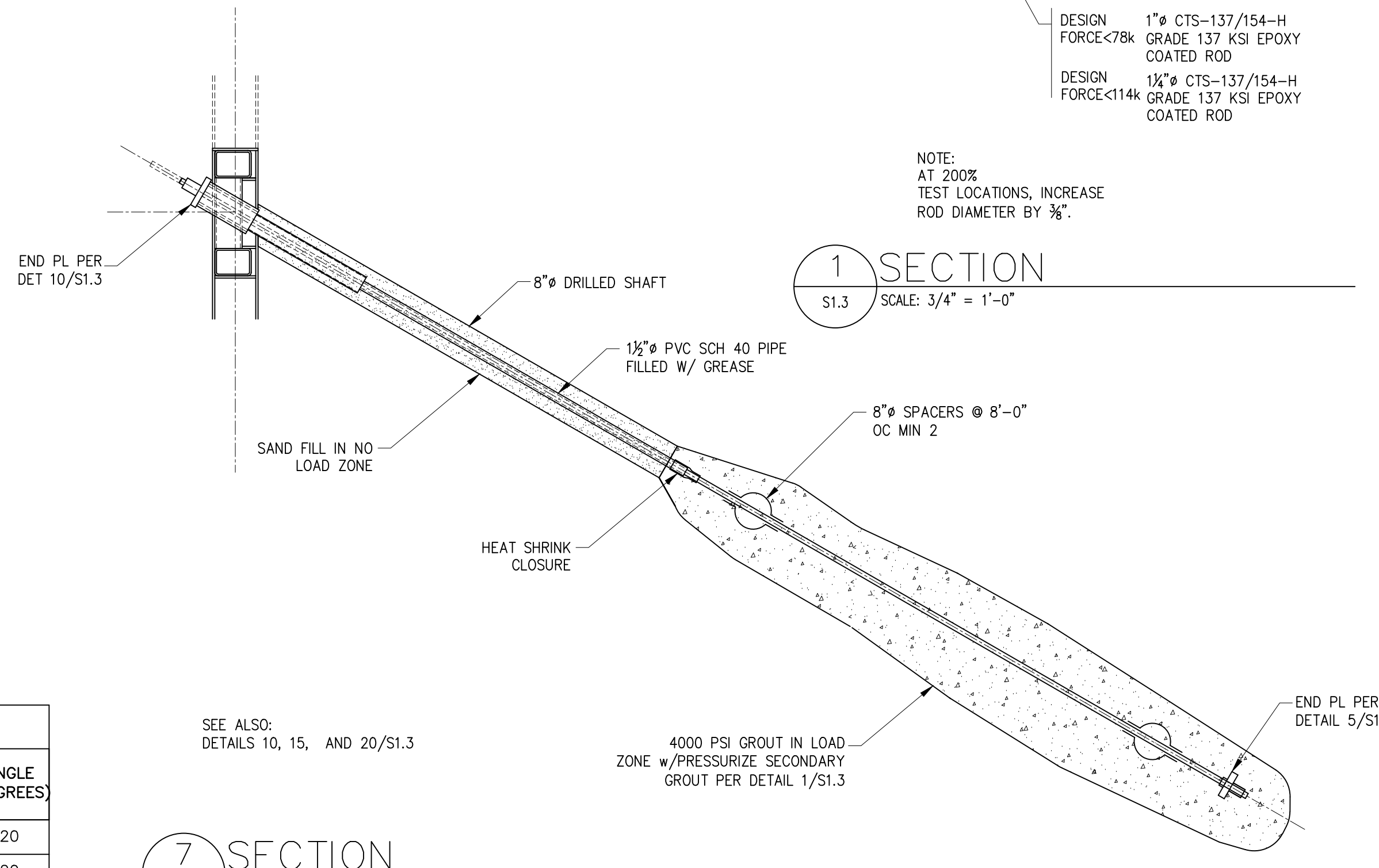
TIE BACK SCHEDULE					
MARK	ELEVATION	L1 (NO LOAD ZONE)	L2 (LOAD ZONE)	DESIGN FORCE (kips)	ANGLE (DEGREES)
T1	38'-0"	9'-0"	12'-0"	31.8	20
T2	38'-0"	16'-0"	12'-0"	31.8	20
T3	41'-0"	9'-0"	13'-6"	55.4	30
T4	41'-0"	9'-0"	8'-0"	26.6	30

TIE BACK INSTALLATION AND TESTING

- TWO PRODUCTION TIE BACKS SHALL BE TESTED TO 200% OF THE DESIGN LOAD. THE TWO TIE BACKS TO BE TESTED ARE INDICATED ON THE SHORING ELEVATIONS.
- FOR THE TWO 200% TIE BACK TESTS, APPLY THE TEST LOADS IN 10 KIP INCREMENTS AND HOLD THE LOAD AT EACH INCREMENT FOR 5 MINUTES. HOLD THE FINAL LOAD FOR 30 MINUTES. MEASUREMENTS OF THE TIE ROD MOVEMENT SHALL BE ACCURATELY RECORDED THROUGHOUT THE TESTING PERIOD. A LINEAR OR NEAR LINEAR RELATIONSHIP BETWEEN THE APPLIED LOADS AND TIE ROD MOVEMENT WILL INDICATE A SUCCESSFUL ANCHOR TEST. REDUCE THE LOAD ON THE TIE BACK TO THE DESIGN LOAD AND LOCK IT OFF.
- ALL TIEBACKS EXCEPT THOSE TESTED TO 200% SHALL BE LOADED TO 130% OF THE DESIGN LOAD AND HELD AT THAT LOAD FOR AT LEAST 5 MINUTES. AN ANCHOR WILL BE CONSIDERED ACCEPTABLE PROVIDED THE FOLLOWING CRITERIA IS MET:
 - THE TOTAL MOVEMENT OBTAINED FROM THE PERFORMANCE AND PROOF TESTS EXCEEDS 80 PER CENT OF THE THEORETICAL ELASTIC ELONGATION OF THE DESIGN FREE STRESSING LENGTH.
 - THE CREEP RATE DURING THE FINAL TEST LOAD DOES NOT EXCEED 0.040 INCH PER LOG CYCLE OF TIME FOR PROOF TESTS AND IS LINEAR OR DECREASING CREEP RATE, REGARDLESS OF TENDON LENGTH AND LOAD. OTHERWISE, THE ANCHOR SHOULD BE HELD FOR AN ADDITIONAL 60 MINUTES AT THE REQUIRED TEST LOAD TO A CREEP RATE LESS THAN 0.080 INCH PER LOG CYCLE OF TIME. PERFORMANCE TEST SHOULD NOT EXCEED A CREEP RATE OF 0.080 INCH PER LOG CYCLE OF TIME AFTER 60 MINUTES.
- AFTER TESTING IS COMPLETE, REDUCE THE LOAD ON THE TIE BACK TO THE DESIGN LOAD AND LOCK IT OFF.
- THE GEOTECH OF RECORD SHALL MONITOR ALL TIE BACK INSTALLATIONS AND TESTING.

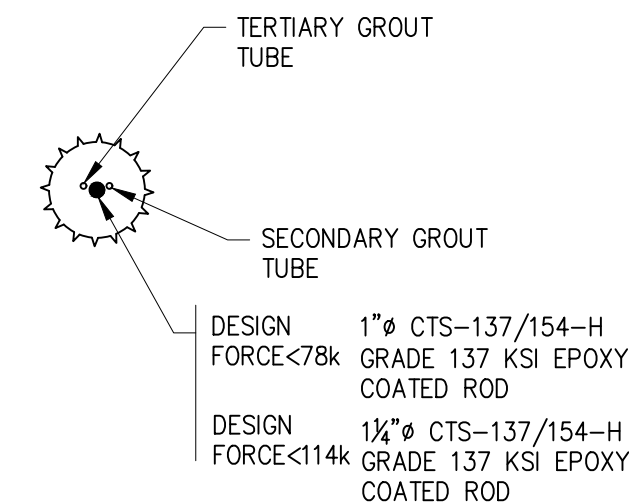
SHORING NOTES:

- SUBMIT A DETAILED LAYOUT OF ALL SOLDIER PILE LOCATIONS SHOWING TOP OF PILE, TOP OF CONCRETE, BOTTOM OF PILE AND PROXIMITY TO BUILDING GRID AND WALLS. DIMENSIONS SHOWN ON THE STRUCTURAL DRAWINGS ARE A GUIDE CONVEYING SPACING INTENT AND GENERAL CONFIGURATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THAT SHORING SYSTEM AND WALLS ARE LOCATED SO THAT BUILDING DIMENSIONS AND LOCATION IS IN ACCORDANCE WITH THE DIMENSIONS PROVIDED IN THE ARCHITECTURAL DRAWINGS.
- PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL CONDUCT A DETAILED SURVEY OF EXISTING ADJACENT FACILITIES AND FEATURES SUCH AS STRUCTURES, SIDEWALKS, UTILITIES, ETC. TO DOCUMENT THE EXISTING CONDITION AND VERTICAL AND HORIZONTAL POSITION OF ALL SUCH FEATURES. AS A MINIMUM, SURVEY THE TOP OF EVERY OTHER SOLDIER PILE FOR VERTICAL AND HORIZONTAL DISPLACEMENT TWICE WEEKLY DURING SHORING INSTALLATION AND EXCAVATION. A LICENSED SURVEYOR, NOT THE CONTRACTOR, MUST DO THE SURVEYING AT LEAST ONCE A WEEK.
- ESTABLISH SURVEY LINES NEAR THE TOP OF THE WALL AND AT DISTANCES UP TO THE WALL HEIGHT, H, BEHIND THE WALL FACE. THESE POINTS SHALL BE SPACED NO FURTHER APART THAN THE DISTANCE BETWEEN THE NEAREST TWO ADJACENT SOLDIER PILES. MONITOR ANY ADJACENT OR NEARBY MOVEMENT OF SENSITIVE STRUCTURES OR FACILITIES. ALSO FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER OF RECORD.
- SURVEY FREQUENCY CAN BE DECREASED AFTER THE COMPLETE SHORING SYSTEM HAS BEEN INSTALLED AND EXCAVATION IS COMPLETE IF THE DATA INDICATES LITTLE OR NO MOVEMENT. DECREASING THE FREQUENCY OF MONITORING MUST BE REVIEWED AND APPROVED BY THE GEOTECHNICAL ENGINEER OF RECORD AND CITY OF MERCER ISLAND. SURVEYING MUST CONTINUE UNTIL THE STRUCTURE IS COMPLETE UNTIL THE UPPER FLOOR FRAMING DIAPHRAGM HAS BEEN INSTALLED AND COMPLETELY NAILED.
- SUBMIT SURVEY DATA TO THE GEOTECHNICAL ENGINEER OF RECORD, THE STRUCTURAL ENGINEER OF RECORD AND THE CITY OF MERCER ISLAND EACH WEEK. NOTIFY ALL THREE IMMEDIATELY IF ANY UNUSUAL OR SIGNIFICANT MOVEMENT OCCURS.
- AS A MINIMUM, NOTIFY THE GEOTECHNICAL ENGINEER OF RECORD, THE STRUCTURAL ENGINEER OF RECORD AND THE CITY OF MERCER ISLAND IF CUMULATIVE DISPLACEMENT REACHES 1/2 INCH TOTAL OR IF MORE THAN 1/4 INCH DISPLACEMENT IS OBSERVED BETWEEN ANY TWO CONSECUTIVE READINGS. IF CUMULATIVE MOVEMENT REACHES 1 INCH CAUSES FOR THE MOVEMENT WILL BE DETERMINED BY THE ENGINEERS OF RECORD AND REMEDIAL MEASURES WILL BE IMPLEMENTED.



7 SECTION
S1.3 SCALE: 3/4" = 1'-0"

SEE ALSO: DETAILS 10, 15, AND 20/S1.3

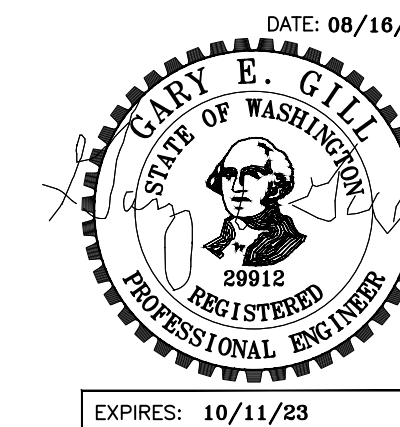


NOTE:
AT 200% TEST LOCATIONS, INCREASE ROD DIAMETER BY 3/8".

1 SECTION
S1.3 SCALE: 3/4" = 1'-0"

GARY GILL, SE
1125 NE 152nd STREET
SHORELINE, WA 98155
PH: 206-992-2728
GILL26608@YAHOO.COM

COPYRIGHT 2016 McCLELLAN ARCHITECTS



PROJECT:
WEST VIEW RESIDENCE
4045 WEST MERCER WAY
MERCER ISLAND, WA 98040

CLIENT:
FERAS ALROUK
7683 SE 27th STREET UNIT #418
MERCER ISLAND, WA 98040

ISSUE:
PERMIT SUBMITTAL 02-26-2022
PERMIT COMMENTS RESPONSE
08-16-2022

DATE:
26 FEB 2022

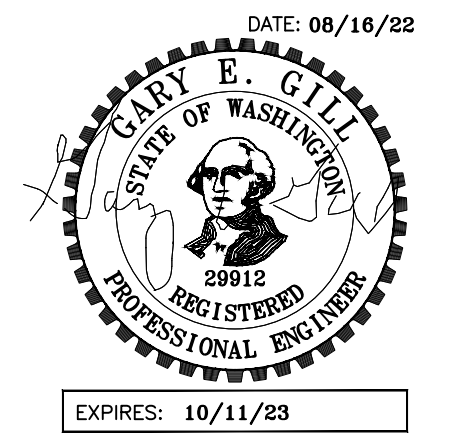
SHEET TITLE:
SHORING SCHED

& DETAILS
SHEET:

S1.3

GARY GILL, SE
1125 NE 152nd STREET
SHORELINE, WA 98155
PH: 206-992-2728
GILL26608@YAHOO.COM

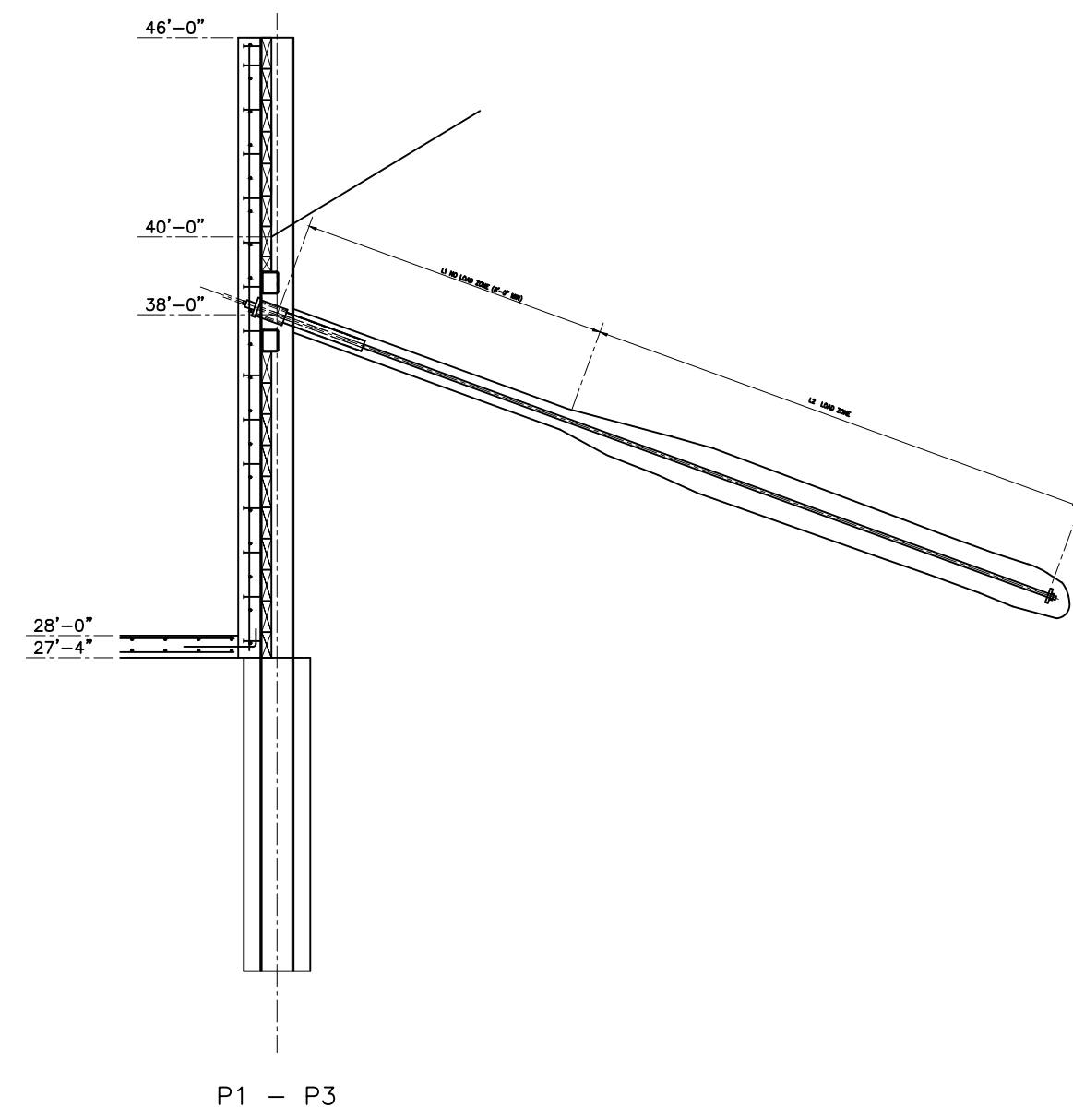
COPYRIGHT 2016 McCLELLAN ARCHITECTS



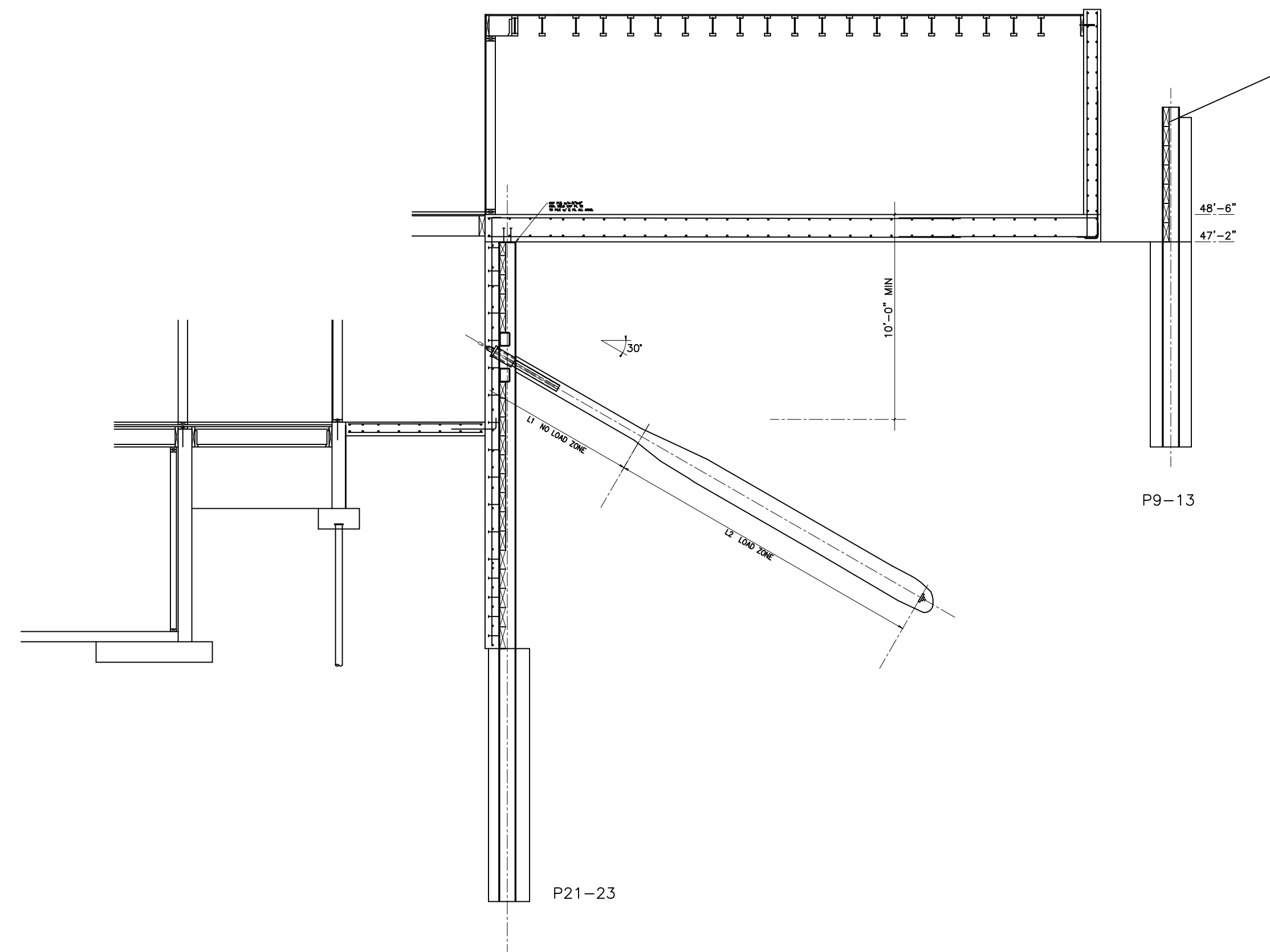
PROJECT:
WEST VIEW RESIDENCE
4045 WEST MERCER WAY
MERCER ISLAND, WA 98040

CLIENT:
FERAS ALROUK
7683 SE 27th STREET UNIT #418
MERCER ISLAND, WA 98040

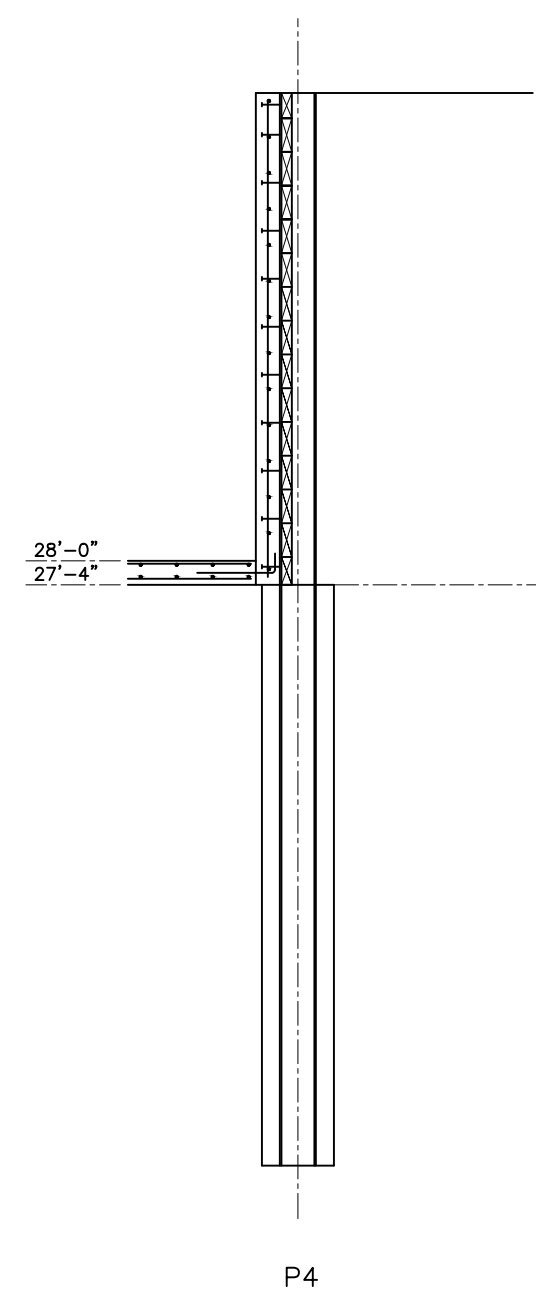
ISSUE:
PERMIT SUBMITTAL 02-26-2022
PERMIT COMMENTS RESPONSE
08-16-2022



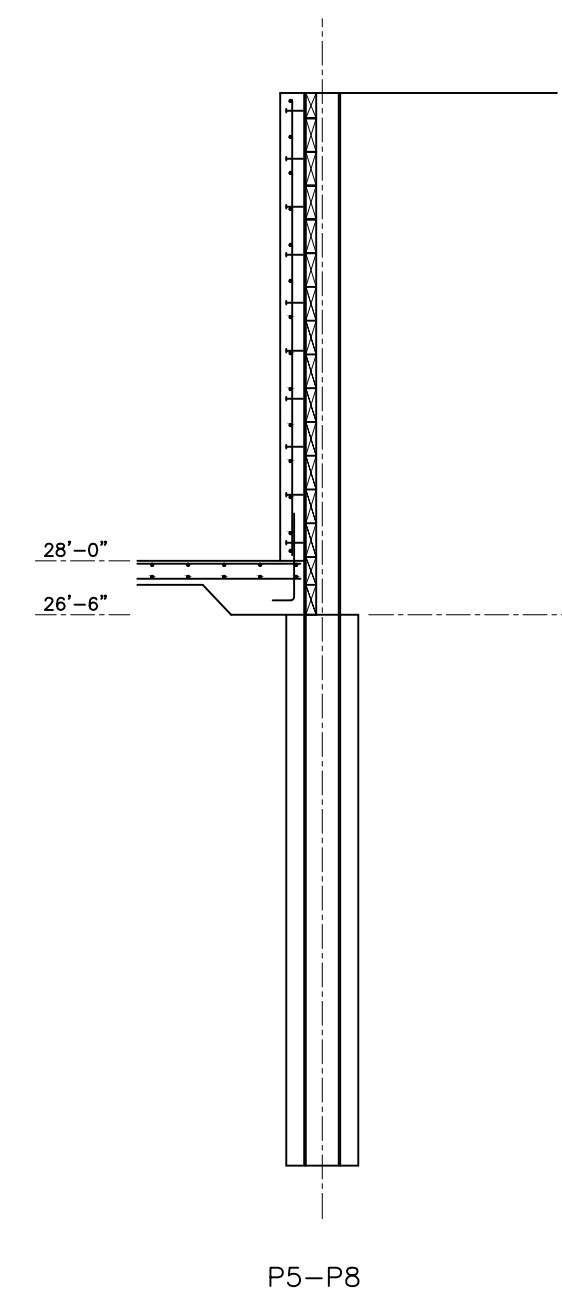
P1 - P3



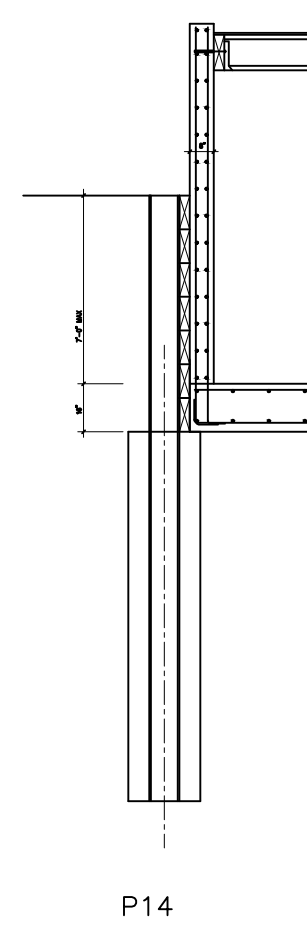
P21-23



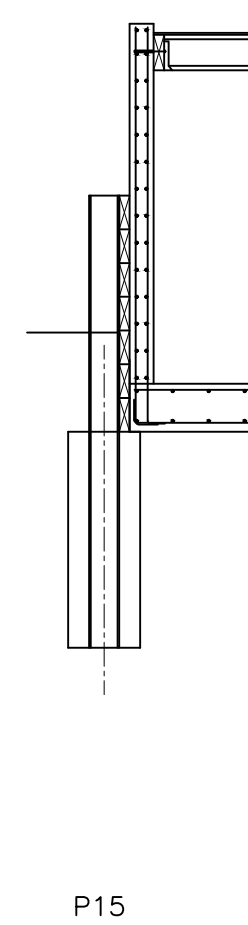
P4



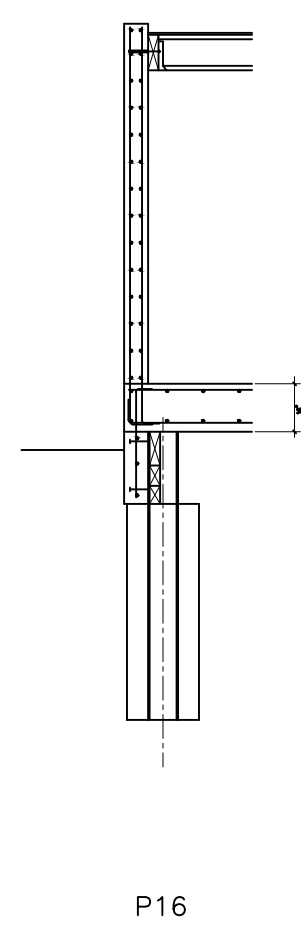
P5-P8



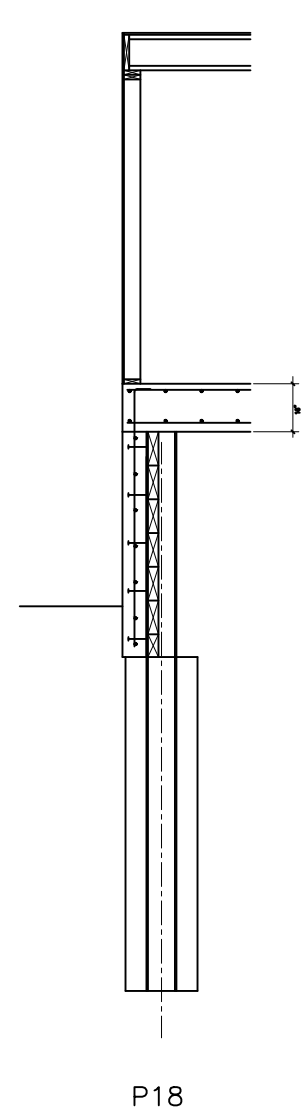
P14



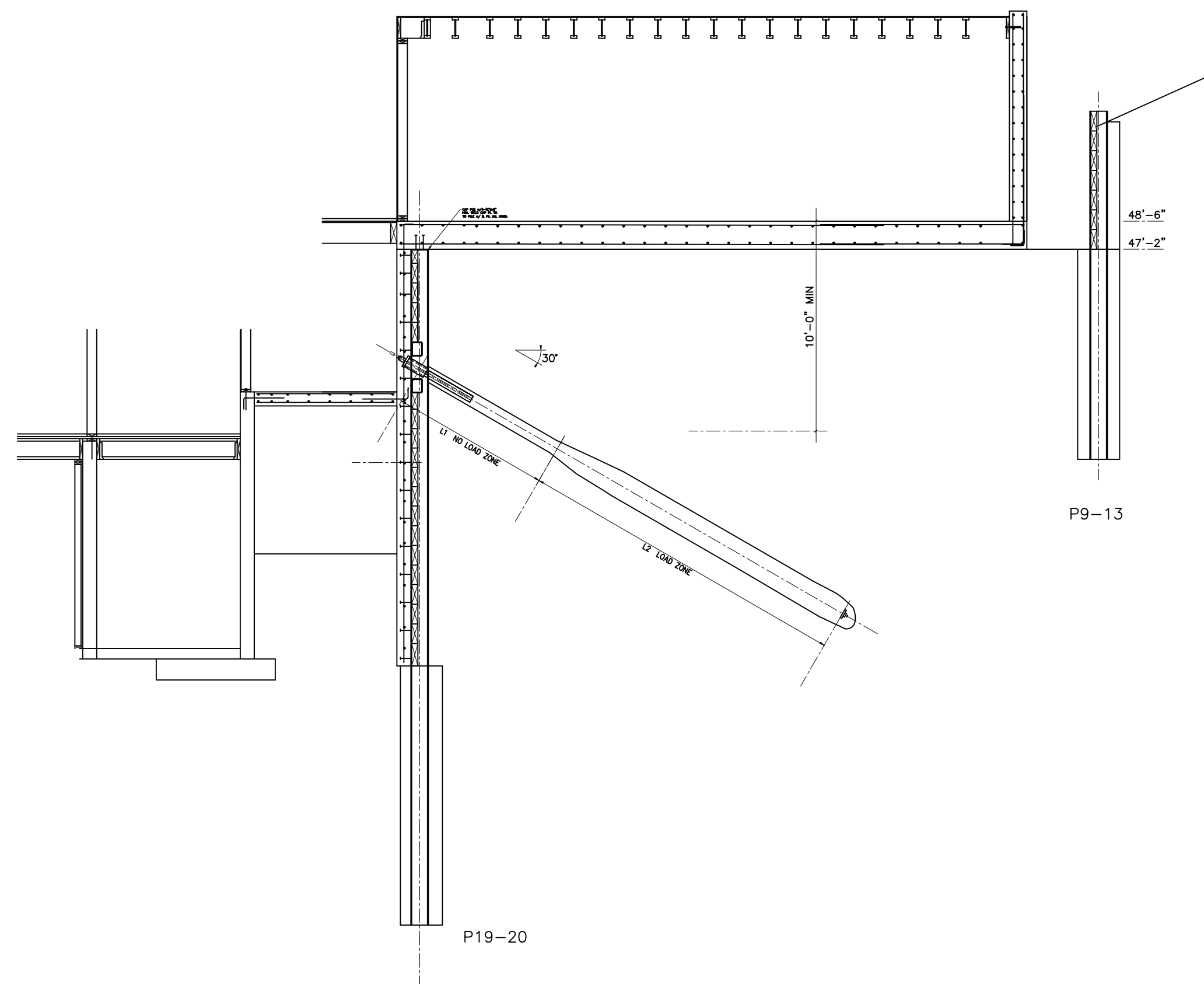
P15



P16



P18



P19-20

P9-13

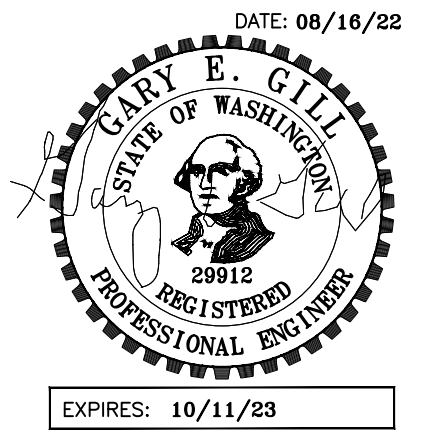
DATE:
26 FEB 2022

SHEET TITLE:
SHORING SECTIONS

SHEET:
S1.4

GARY GILL, SE
 1125 NE 152nd STREET
 SHORELINE, WA 98155
 PH: 206-992-2728
 GILL26608@YAHOO.COM

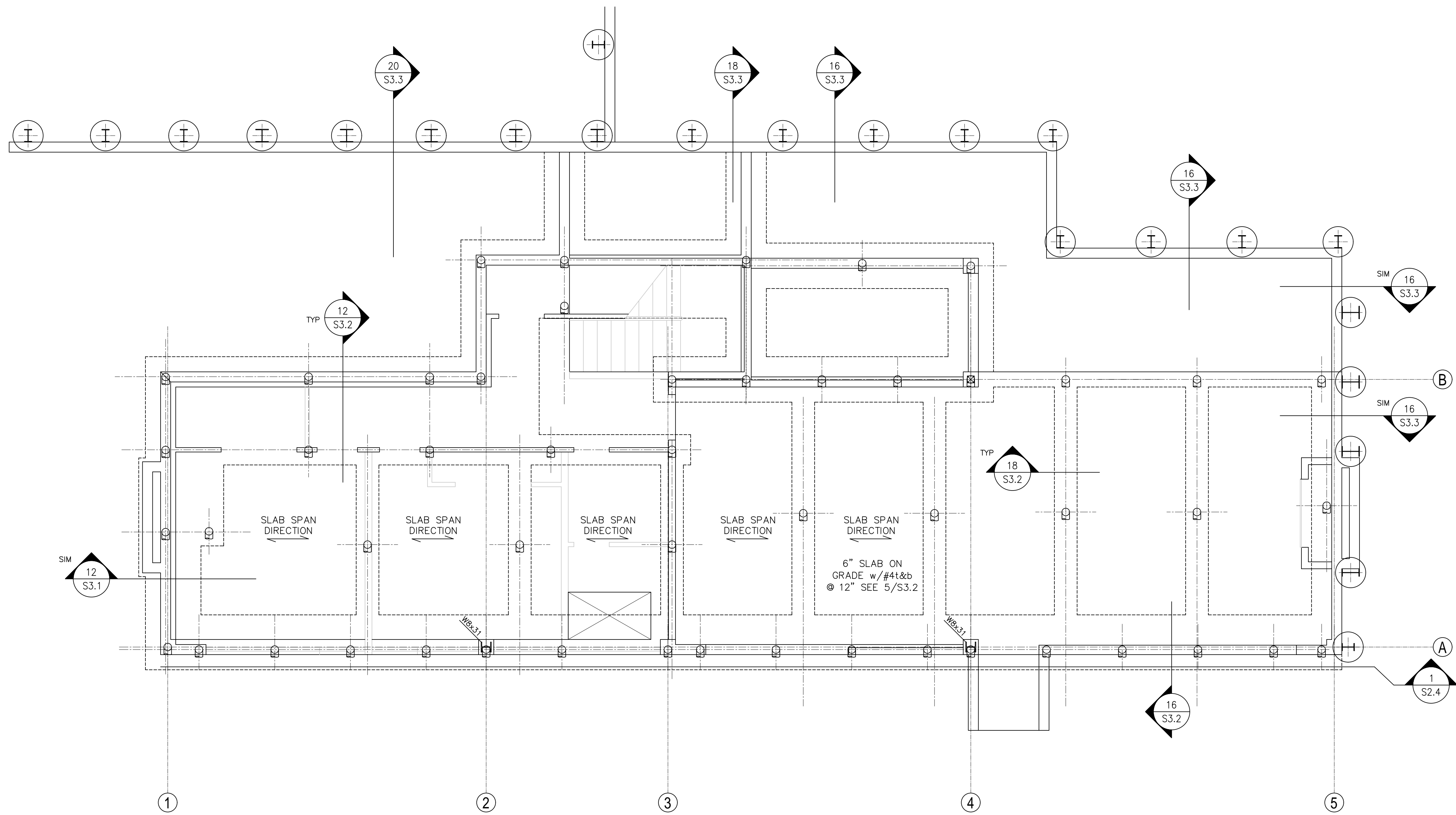
COPYRIGHT 2016 McCLELLAN ARCHITECTS



PROJECT:
 WEST VIEW RESIDENCE
 4045 WEST MERCER WAY
 MERCER ISLAND, WA 98040

CLIENT:
 FERAS ALROUK
 7683 SE 27th STREET UNIT #418
 MERCER ISLAND, WA 98040

ISSUE:
 PERMIT SUBMITTAL 02-26-2022
 PERMIT COMMENTS RESPONSE
 08-16-2022

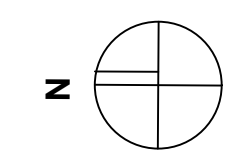


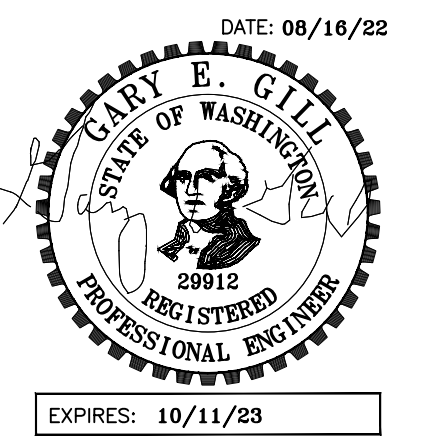
DATE:
 26 FEB 2022

SHEET TITLE:
 LOWER LEVEL

FOUNDATION PLAN
 SHEET:

S2.0

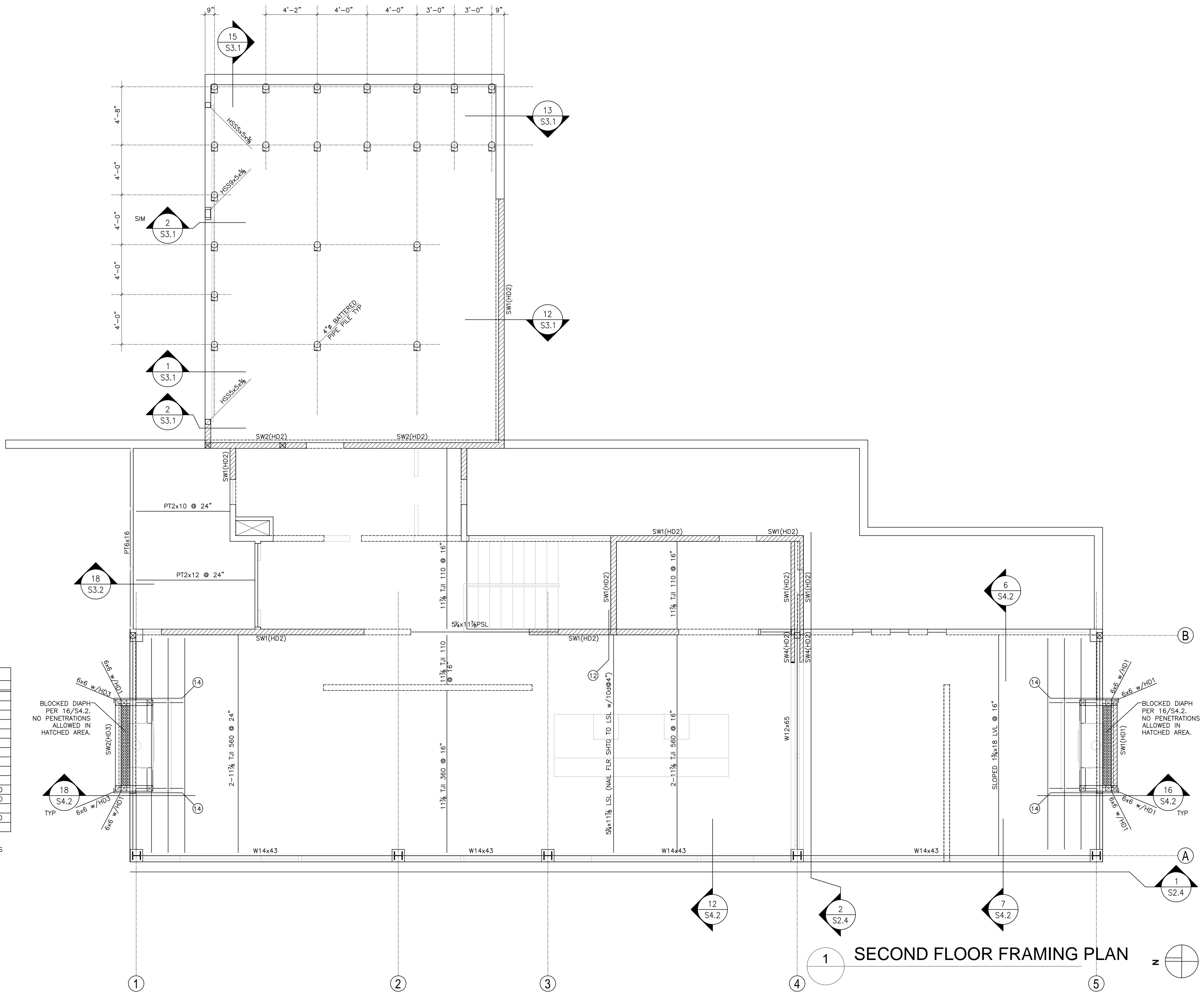




PROJECT:
 WEST VIEW RESIDENCE
 4045 WEST MERCER WAY
 MERCER ISLAND, WA 98040

CLIENT:
 FERAS ALROUK
 7683 SE 27th STREET UNIT #418
 MERCER ISLAND, WA 98040

ISSUE:
 PERMIT SUBMITTAL 02-26-2022
 PERMIT COMMENTS RESPONSE
 08-16-2022



CONNECTION SCHED	
MARK	HANGER
1	HUCQ410
2	HUCQ610
3	HUCQ412
4	HUCQ612
5	LUC210Z
6	A35 EA SIDE
7	HUC410 MAX
8	HUC610 MAX
9	HUCQ1.81/11-SDS
10	MSTC40
11	CS14x8'-0" w/26-.148"Øx3 1/4" EA END
12	CS14x6'-0" w/26-.148"Øx3 1/4" EA END
13	2-DT12Z w/1/2"Øx5" EMB AT-XP AB
14	CS16x6'-0" w/12-.148"Øx2 1/2" EA END
15	HU412-2

NOTES:
 1. WHEN CALLOUT HAS AN ASTERISK, HANGER IS INVERTED.

SECOND FLOOR FRAMING PLAN

DATE:
 26 FEB 2022

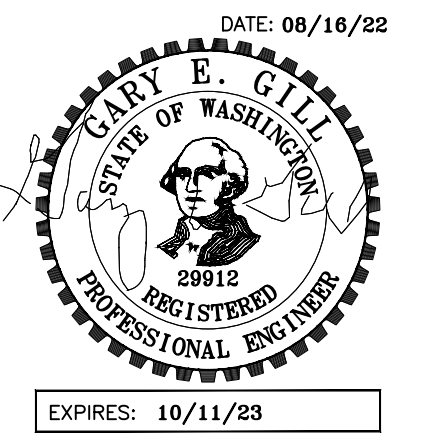
SHEET TITLE:
 SECOND FLOOR

FRAMING PLAN

SHEET:
 S2.2

GARY GILL, SE
 1125 NE 152nd STREET
 SHORELINE, WA 98155
 PH: 206-992-2728
 GILL26608@YAHOO.COM

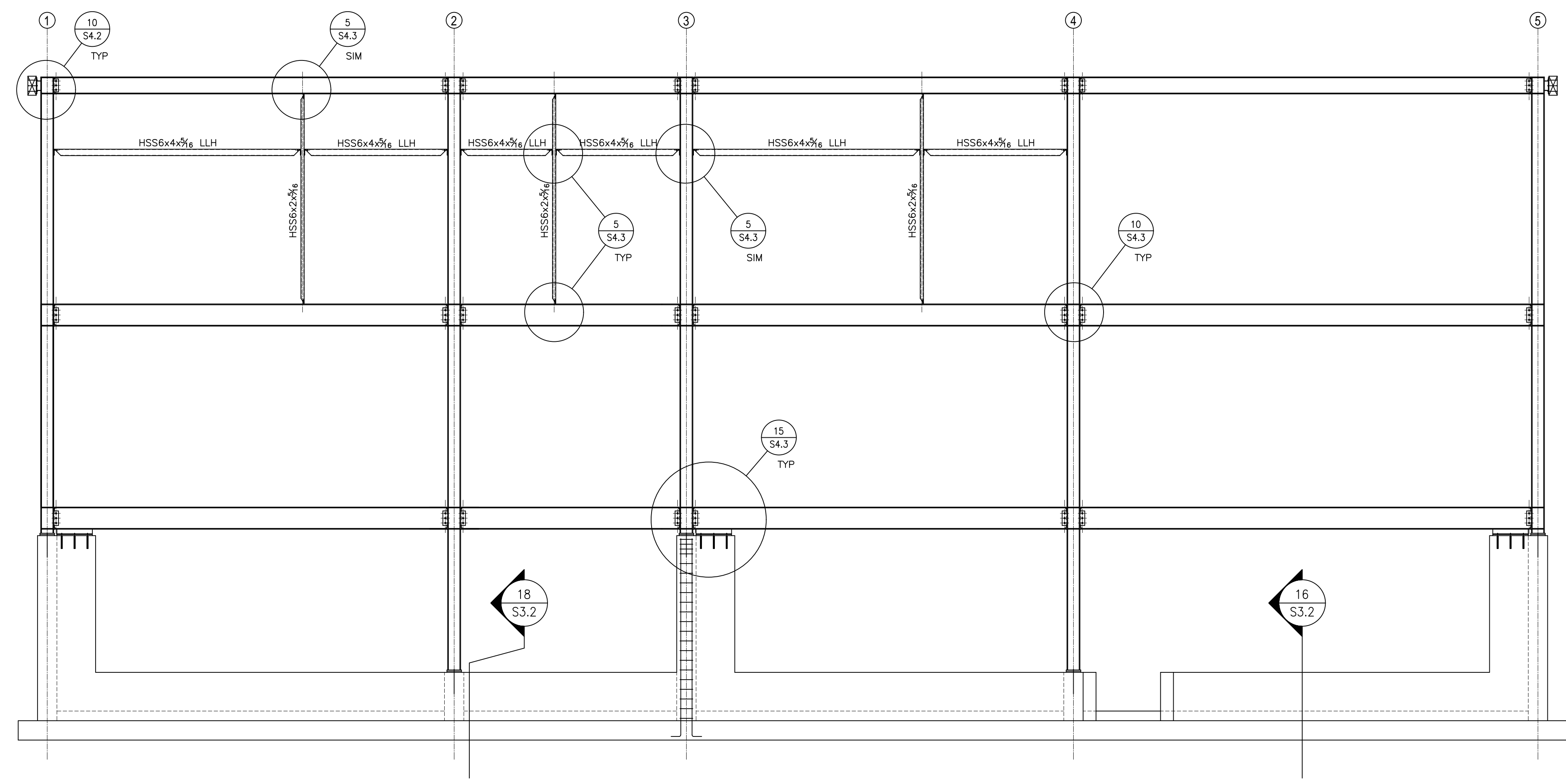
COPYRIGHT 2016 McCLELLAN ARCHITECTS



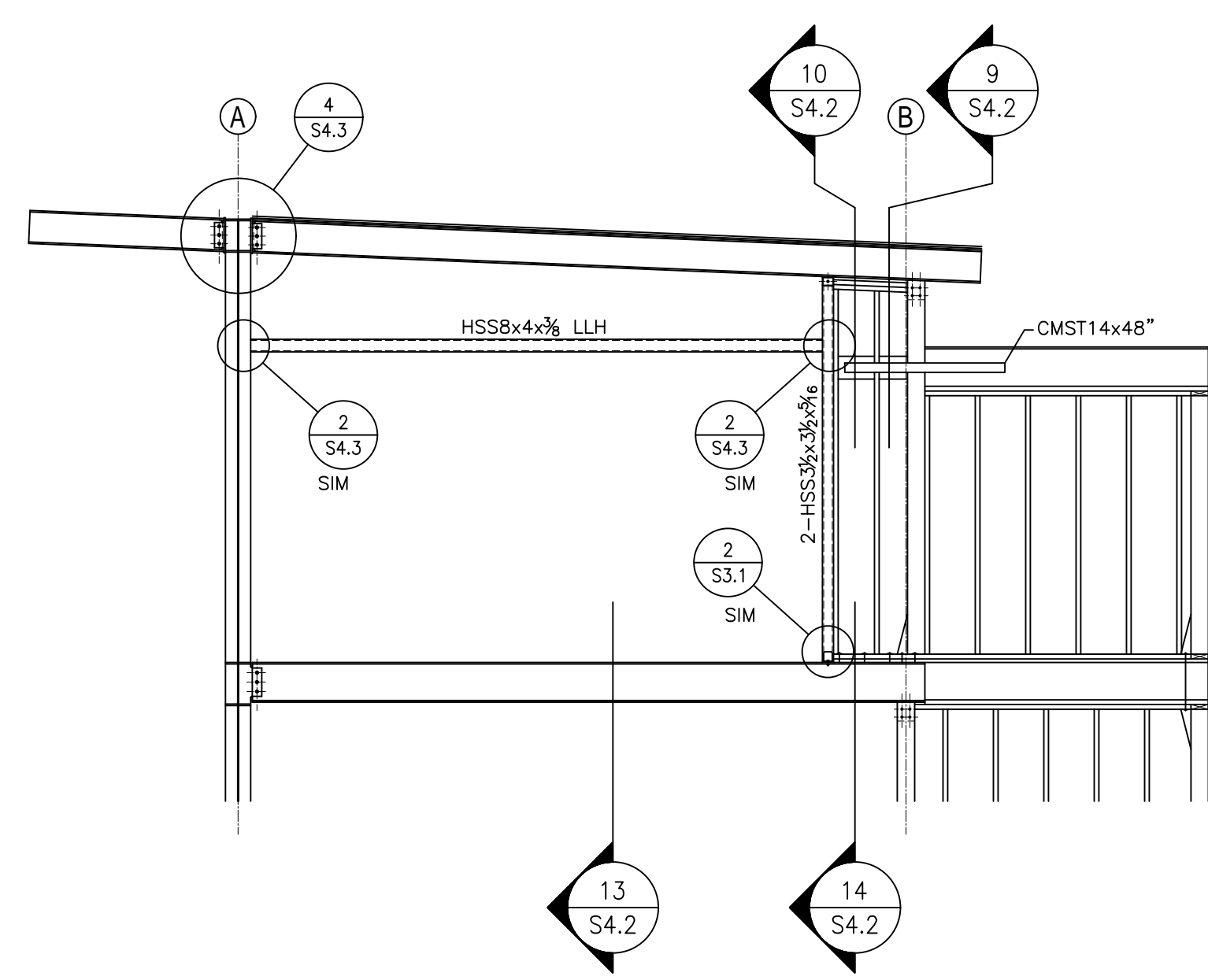
PROJECT:
 WEST VIEW RESIDENCE
 4045 WEST MERCER WAY
 MERCER ISLAND, WA 98040

CLIENT:
 FERAS ALROUK
 7683 SE 27th STREET UNIT #418
 MERCER ISLAND, WA 98040

ISSUE:
 PERMIT SUBMITTAL 02-26-2022
 PERMIT COMMENTS RESPONSE
 08-16-2022



1 FRAMING ELEV LINE A



2 FRAMING ELEV LINE 4

DATE:
26 FEB 2022

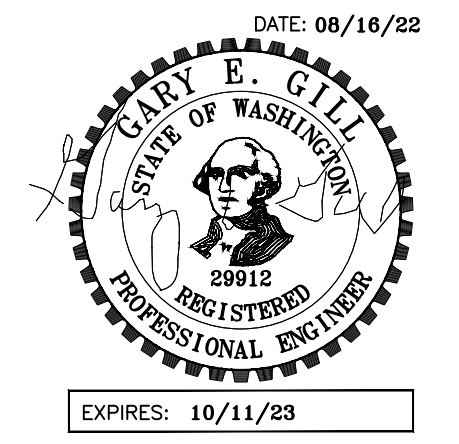
SHEET TITLE:
 FRAMING

ELEVATIONS
 SHEET:

S2.4

GARY GILL, SE
 1125 NE 152nd STREET
 SHORELINE, WA 98155
 PH: 206-992-2728
 GILL26608@YAHOO.COM

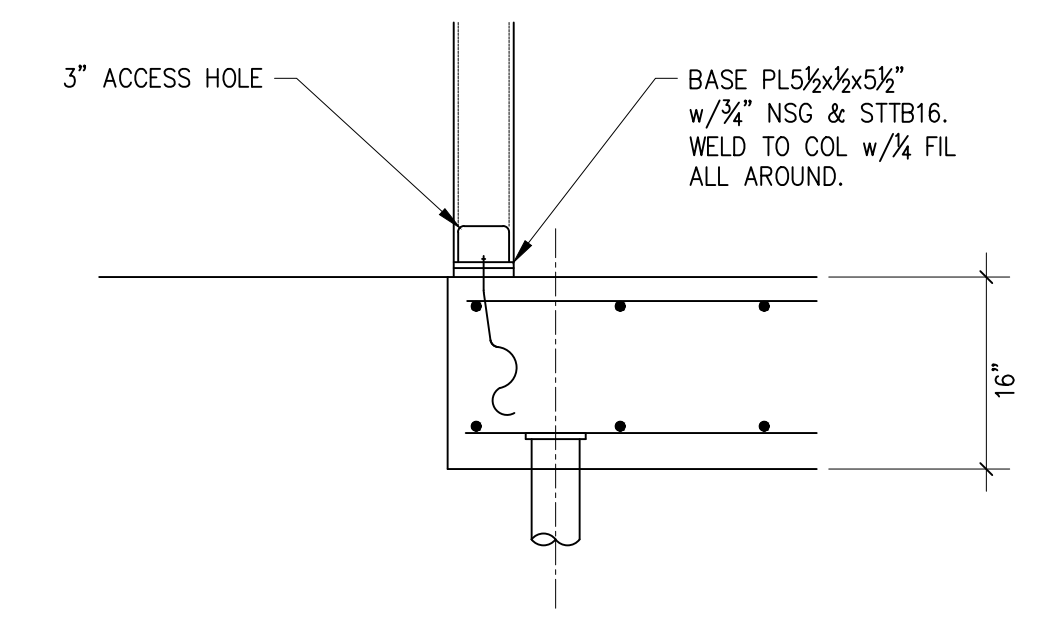
COPYRIGHT 2016 McCLELLAN ARCHITECTS



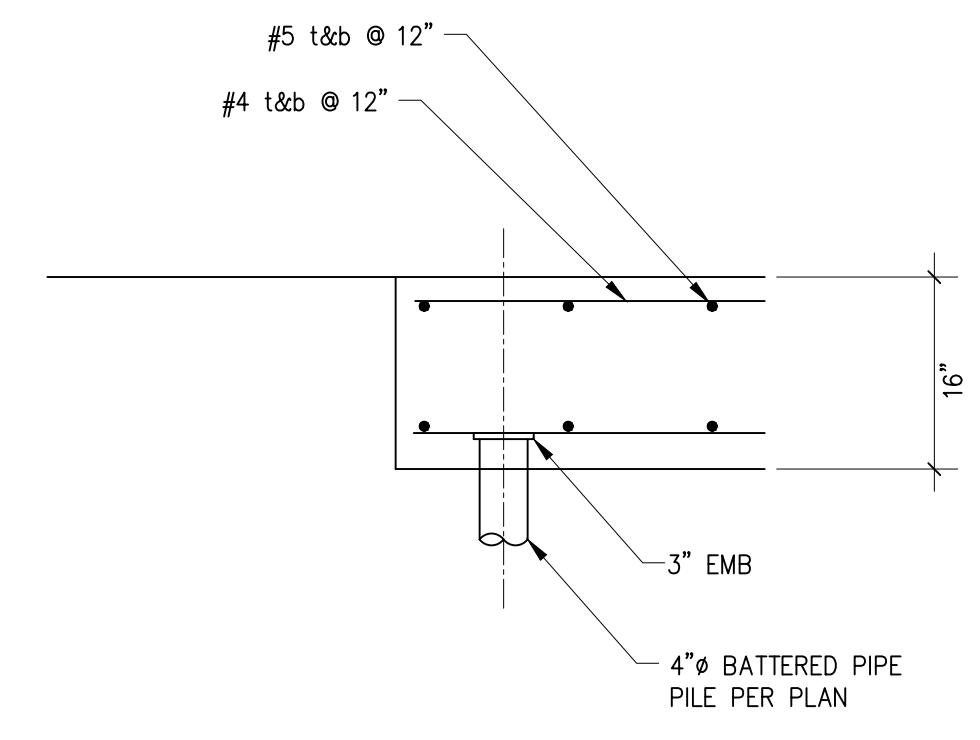
PROJECT:
 WEST VIEW RESIDENCE
 4045 WEST MERCER WAY
 MERCER ISLAND, WA 98040

CLIENT:
 FERAS ALROUK
 7683 SE 27th STREET UNIT #418
 MERCER ISLAND, WA 98040

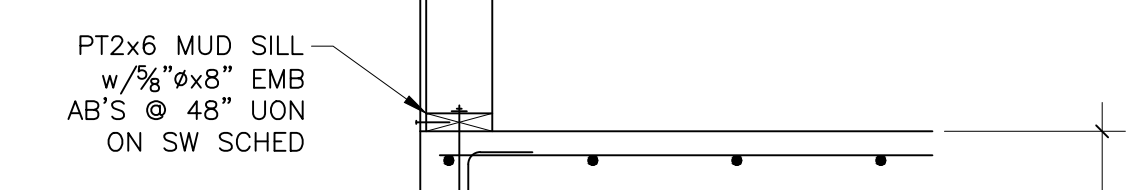
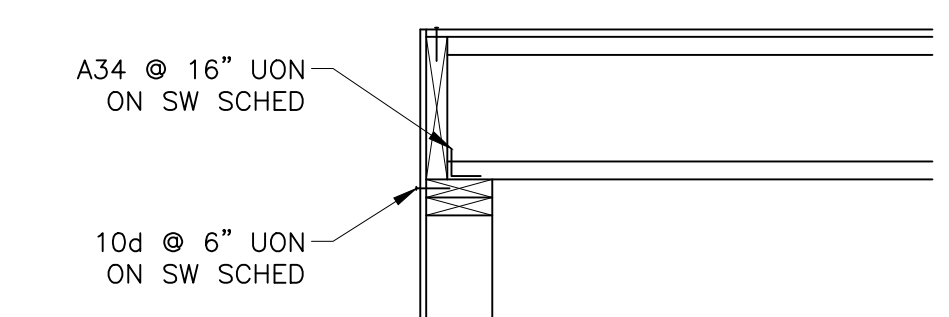
ISSUE:
 PERMIT SUBMITTAL 02-26-2022
 PERMIT COMMENTS RESPONSE
 08-16-2022



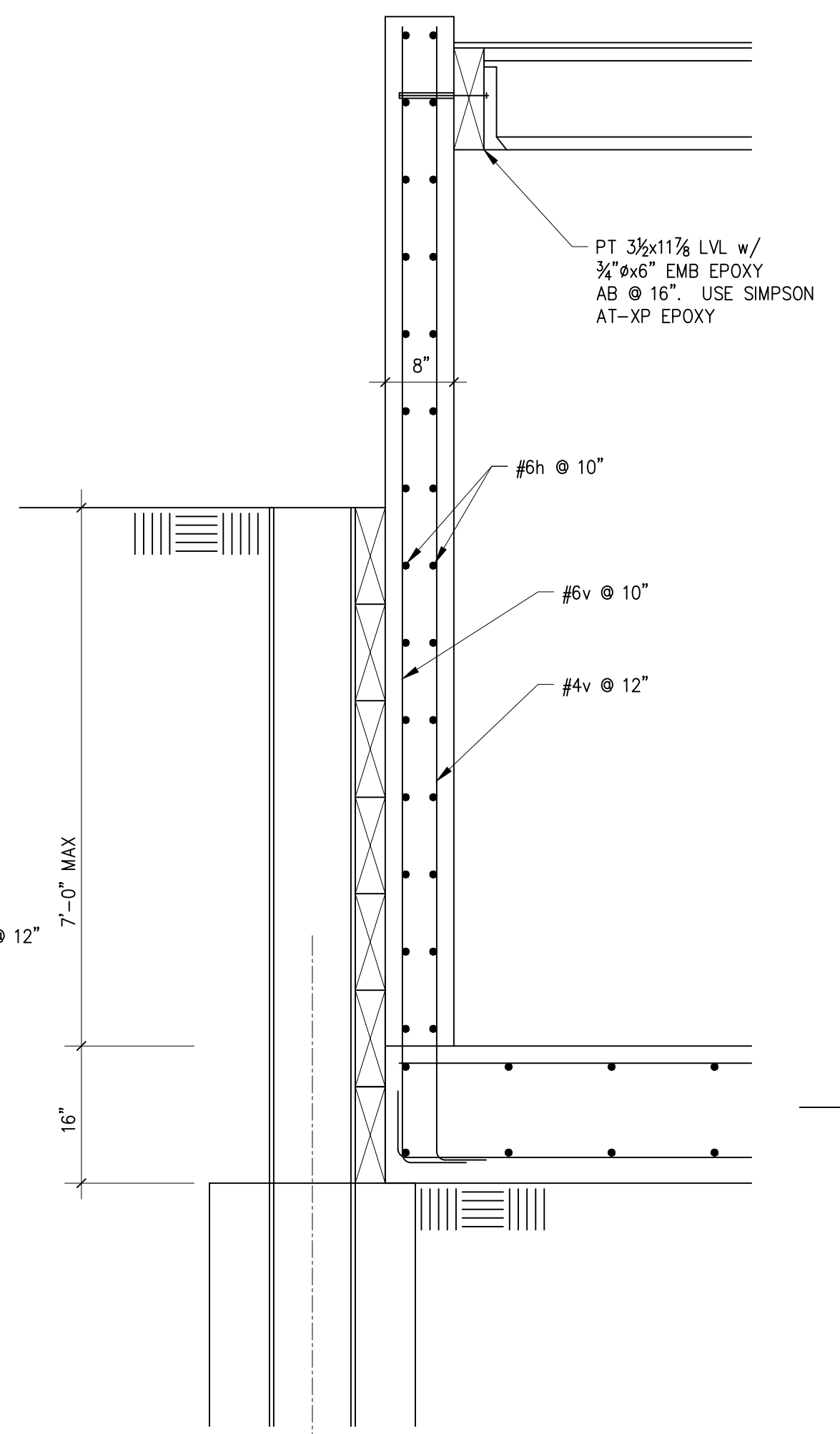
2 SECTION
 S3.1 SCALE: 3/4" = 1'-0"



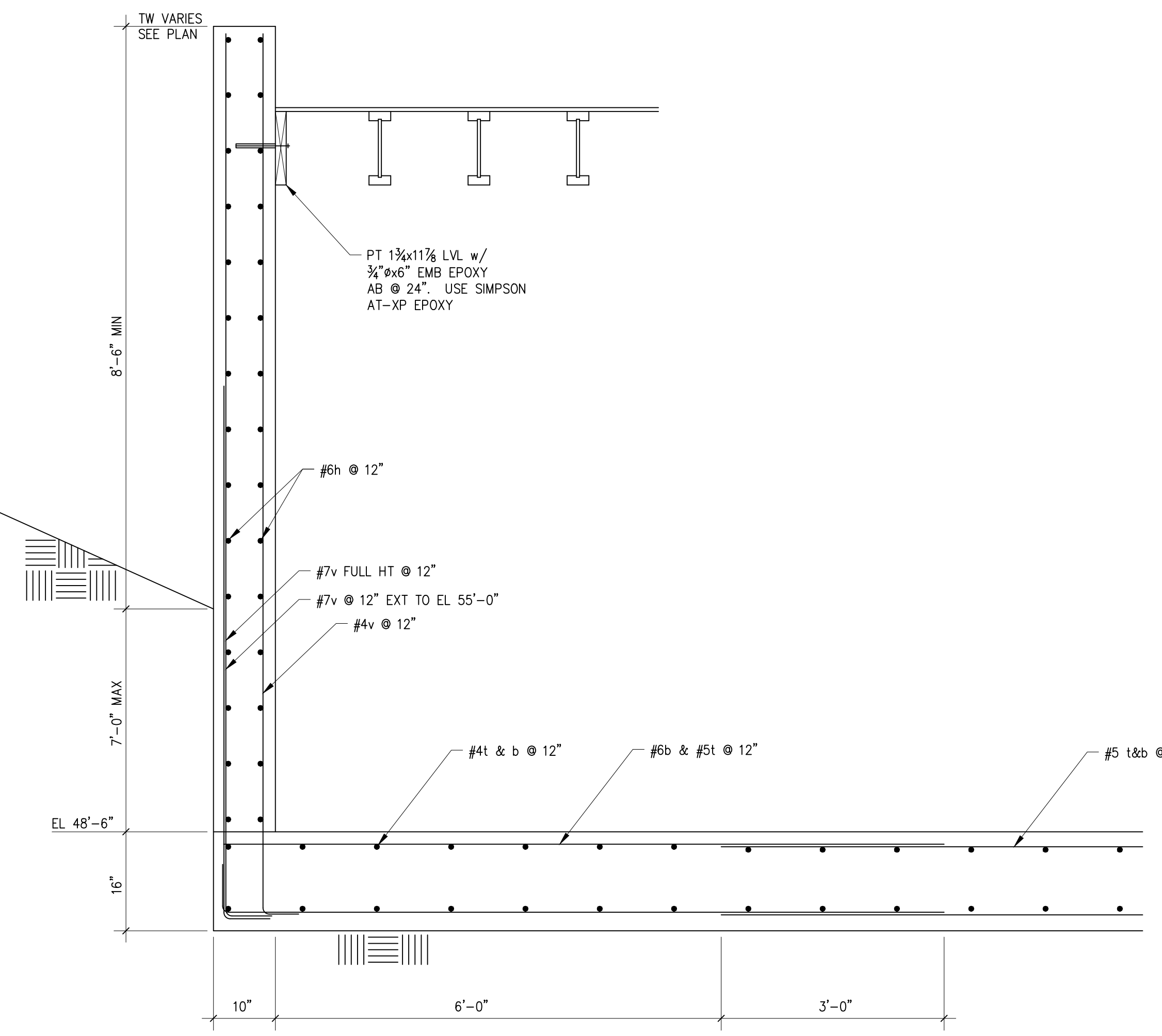
1 SECTION
 S3.1 SCALE: 3/4" = 1'-0"



12 SECTION
 S3.1 SCALE: 3/4" = 1'-0"



13 SECTION
 S3.1 SCALE: 3/4" = 1'-0"



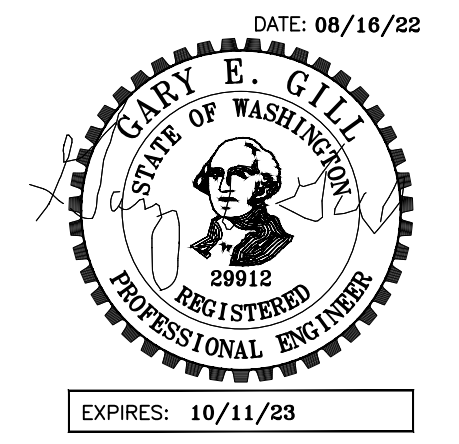
15 SECTION
 S3.1 SCALE: 3/4" = 1'-0"

DATE:
26 FEB 2022

SHEET TITLE:
 FOUNDATION

DETAILS
 SHEET:

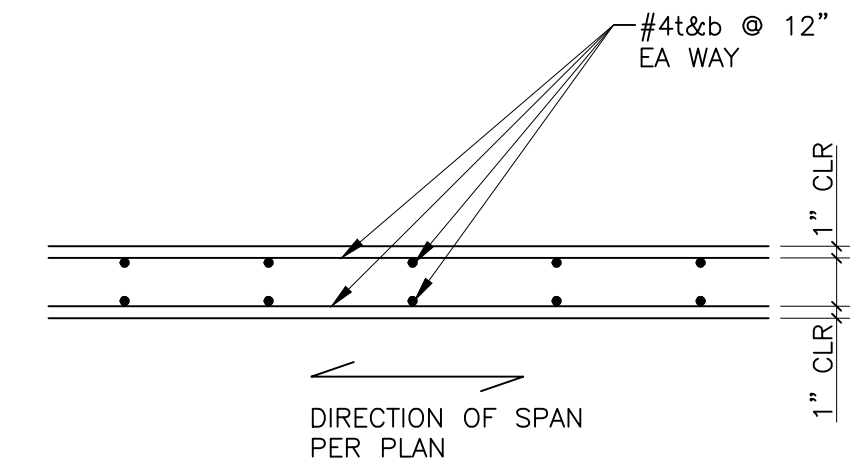
S3.1



PROJECT:
 WEST VIEW RESIDENCE
 4045 WEST MERCER WAY
 MERCER ISLAND, WA 98040

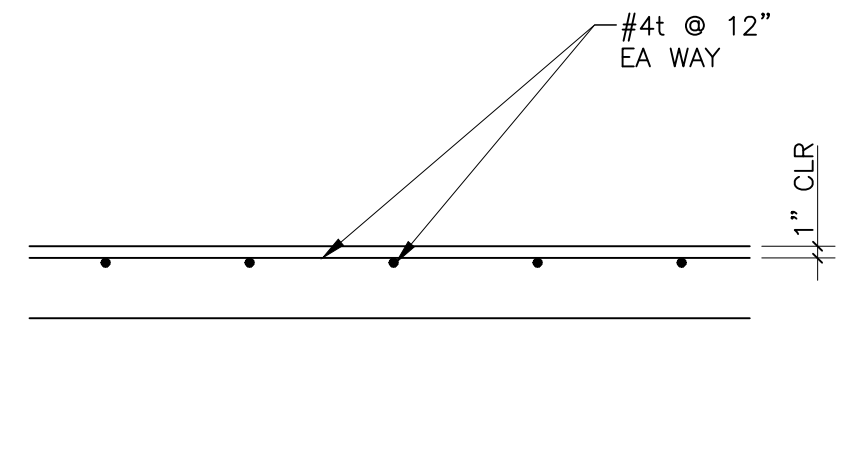
CLIENT:
 FERAS ALROUK
 7683 SE 27th STREET UNIT #418
 MERCER ISLAND, WA 98040

ISSUE:
 PERMIT SUBMITTAL 02-26-2022
 PERMIT COMMENTS RESPONSE
 08-16-2022

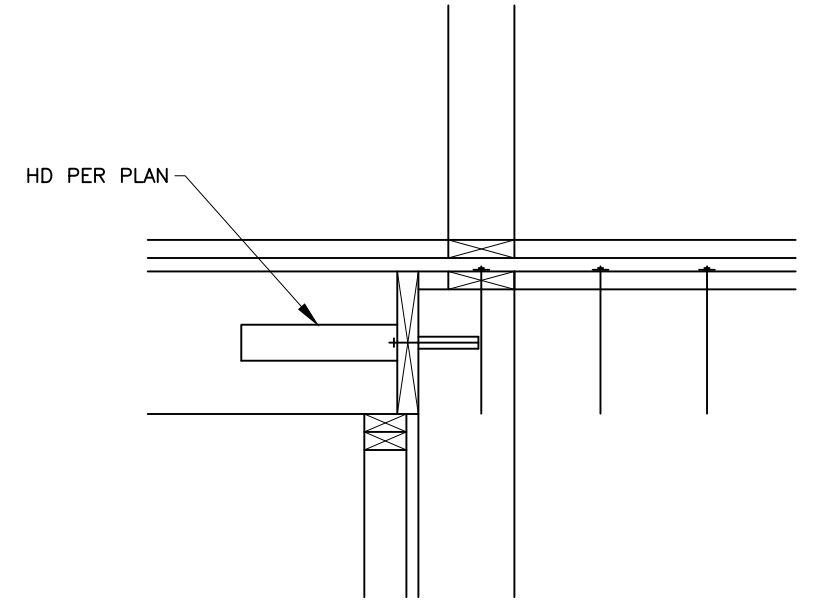


NOTES:
 1. OPTIONAL LAP SPLICE TOP BARS 24" @ MIDSPAN.
 2. OPTIONAL LAP SPLICE BOT BARS 12" @ GRADE BM.

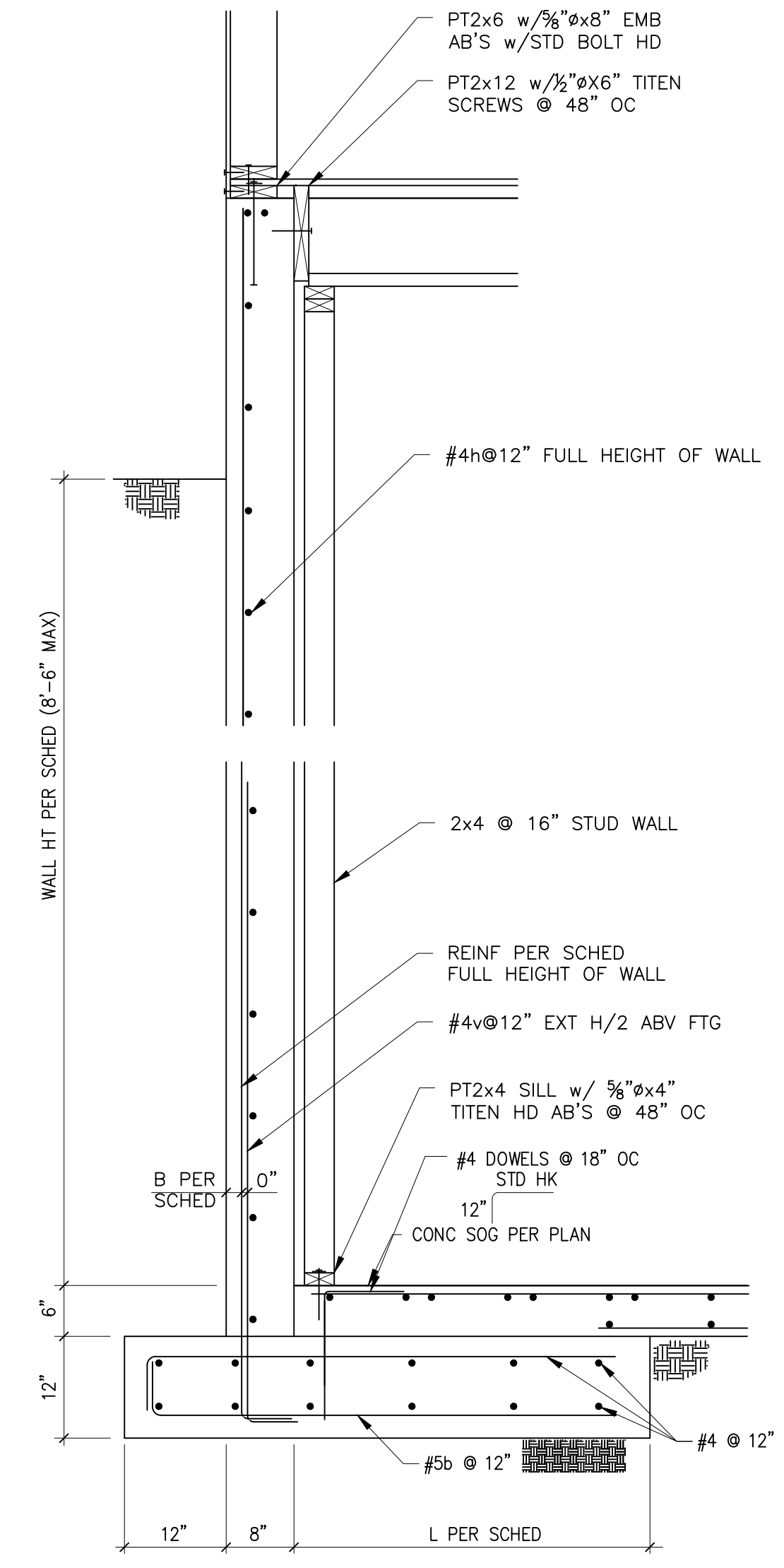
5 TYP PILE SUPP SOG
 S3.2 SCALE: 3/4" = 1'-0"



4 TYP SLAB ON GRADE
 S3.2 SCALE: 3/4" = 1'-0"



3 SECTION
 S3.2 SCALE: 3/4" = 1'-0"

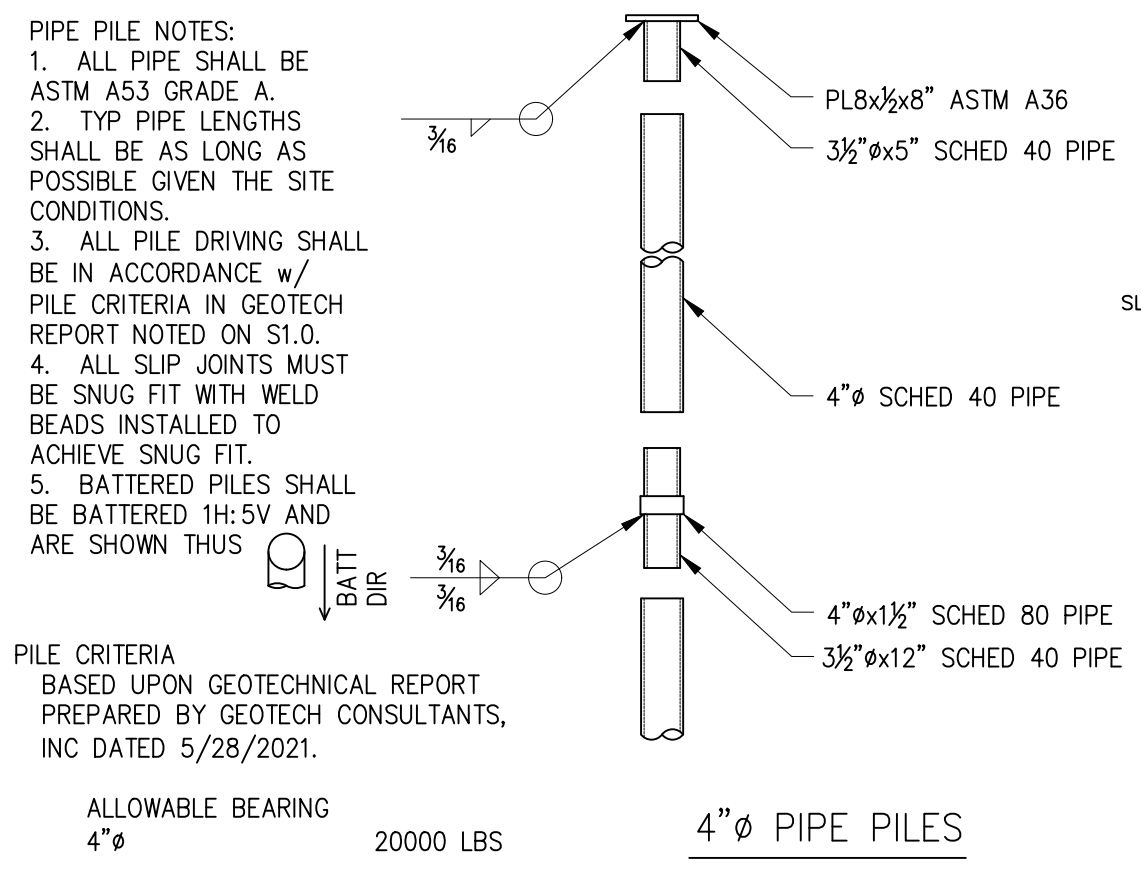


RETAINING WALL SCHEDULE

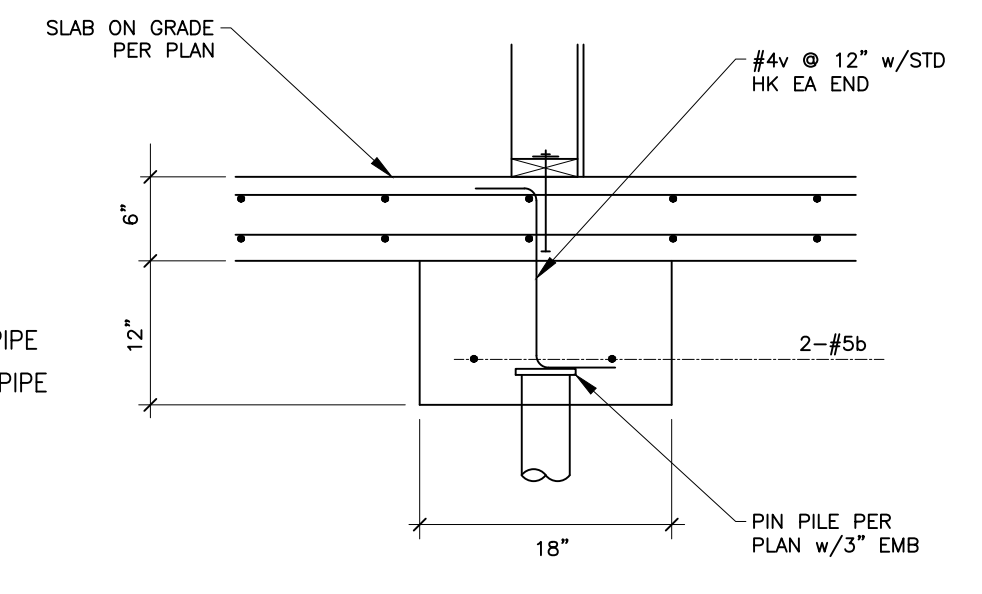
WALL HT	"L"	"B"	REINF
2'-0"	1'-0"	4"	#4v@12"
4'-0"	2'-0"	4"	#4v@12"
6'-0"	4'-0"	4"	#4v@12"
8'-6"	5'-0"	2"	#5v@12"

RETAINING WALL SCHED NOTES
 1. #4v@12 THAT EXTEND H/2 MAY BE OMITTED @ WALLS 4'-0" OR LESS IN HEIGHT.

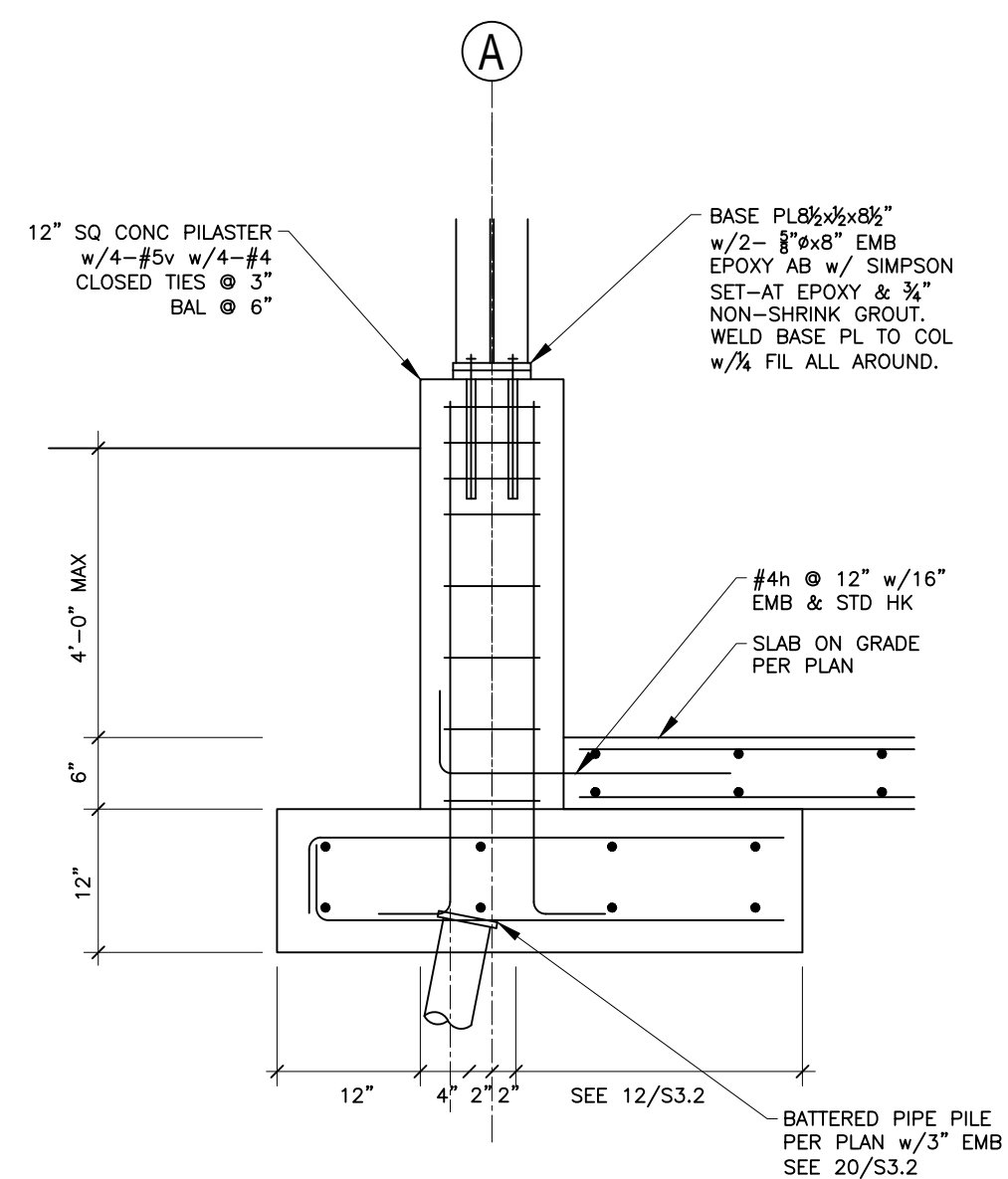
12 SECTION
 S3.2 SCALE: 3/4" = 1'-0"



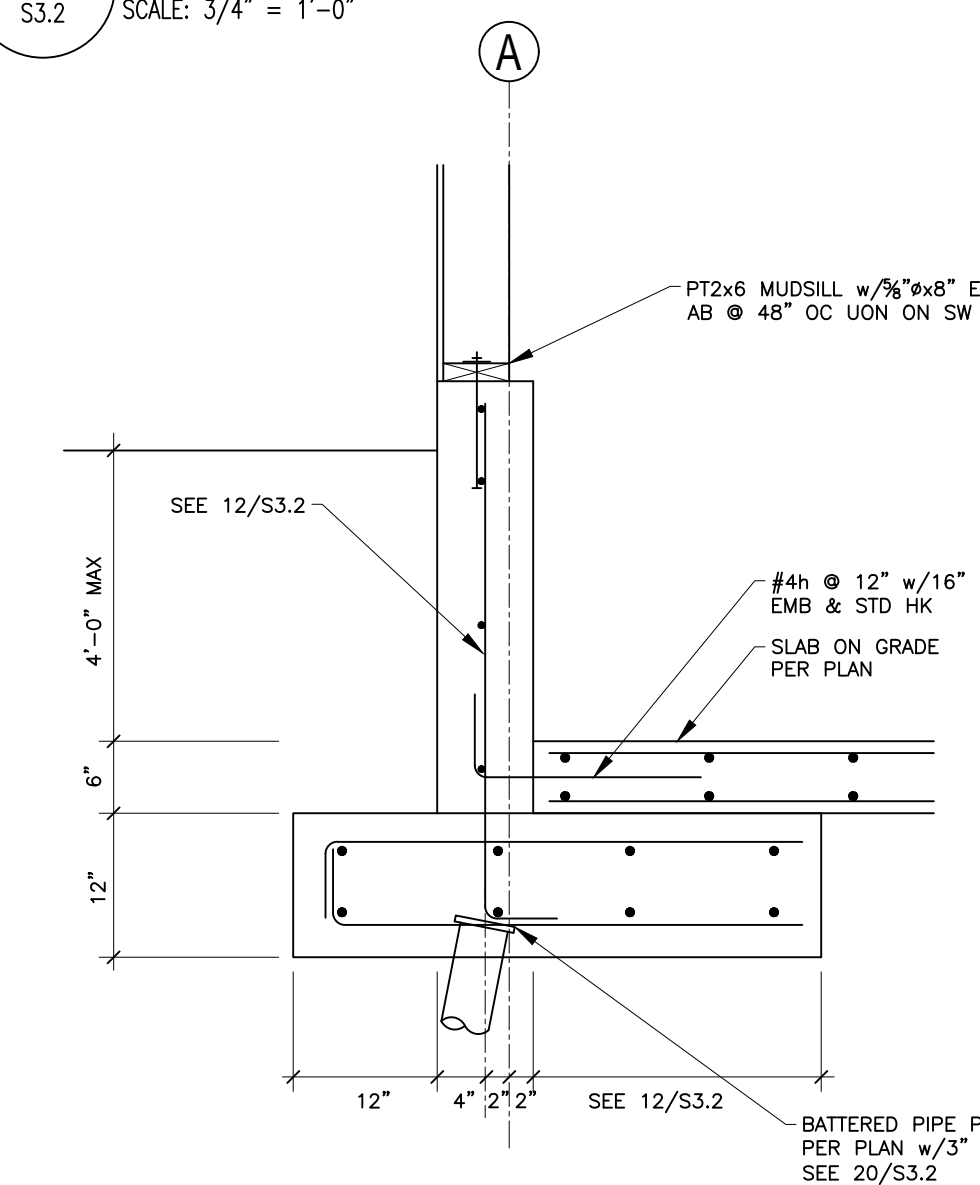
20 TYP PIPE PILE DETAILS
 S3.2 SCALE: 3/4" = 1'-0"



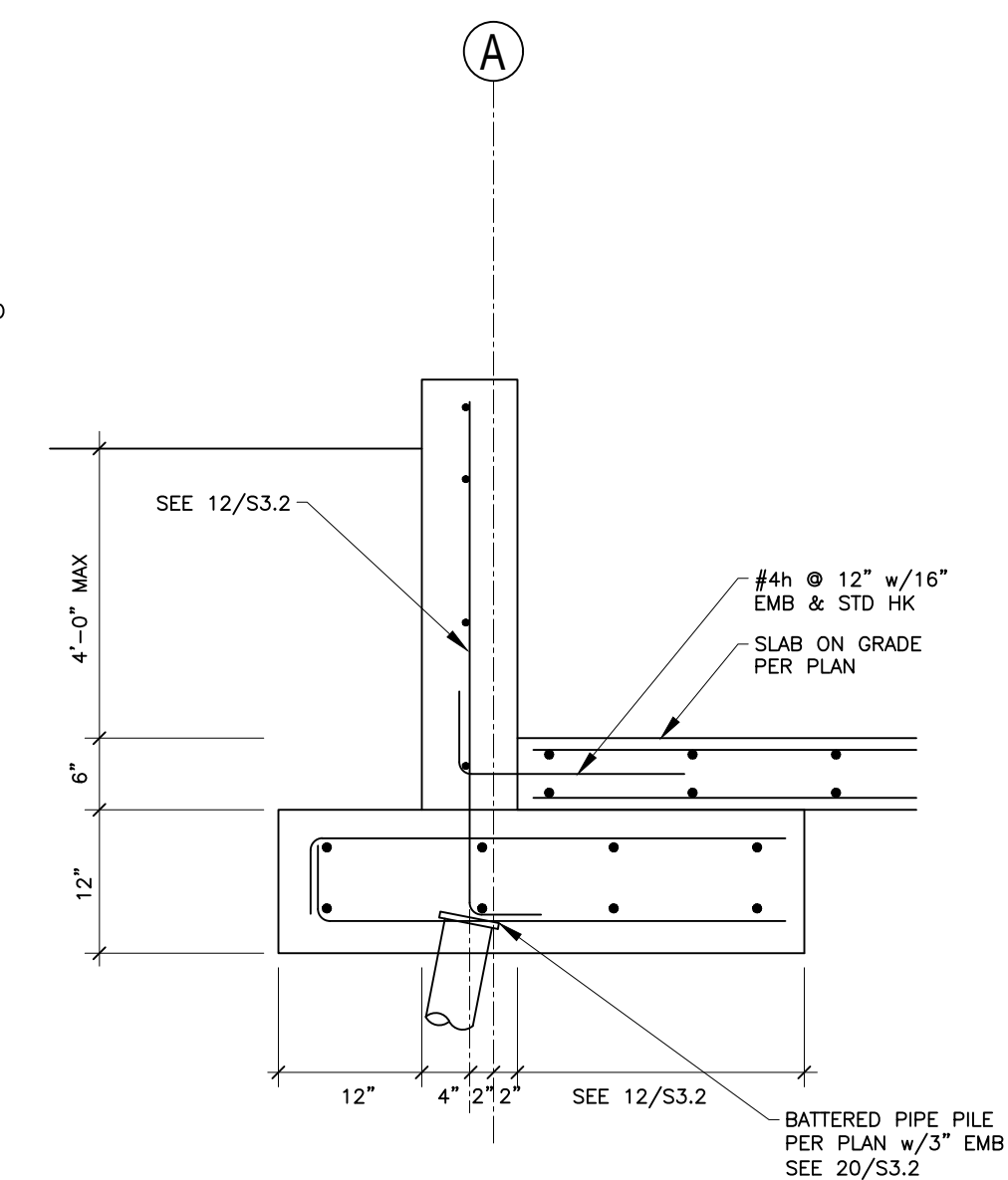
19 SECTION
 S3.2 SCALE: 3/4" = 1'-0"



18 SECTION
 S3.2 SCALE: 3/4" = 1'-0"



17 SECTION
 S3.2 SCALE: 3/4" = 1'-0"



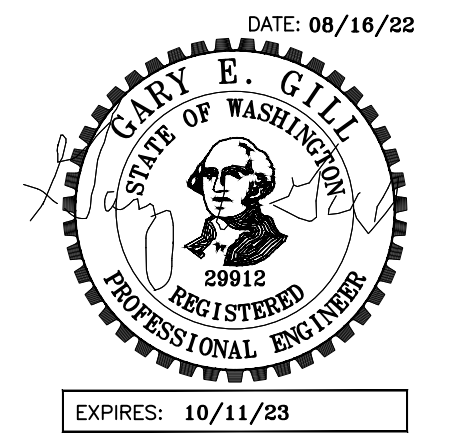
16 SECTION
 S3.2 SCALE: 3/4" = 1'-0"

DATE:
26 FEB 2022

SHEET TITLE:
 FOUNDATION

DETAILS
 SHEET:

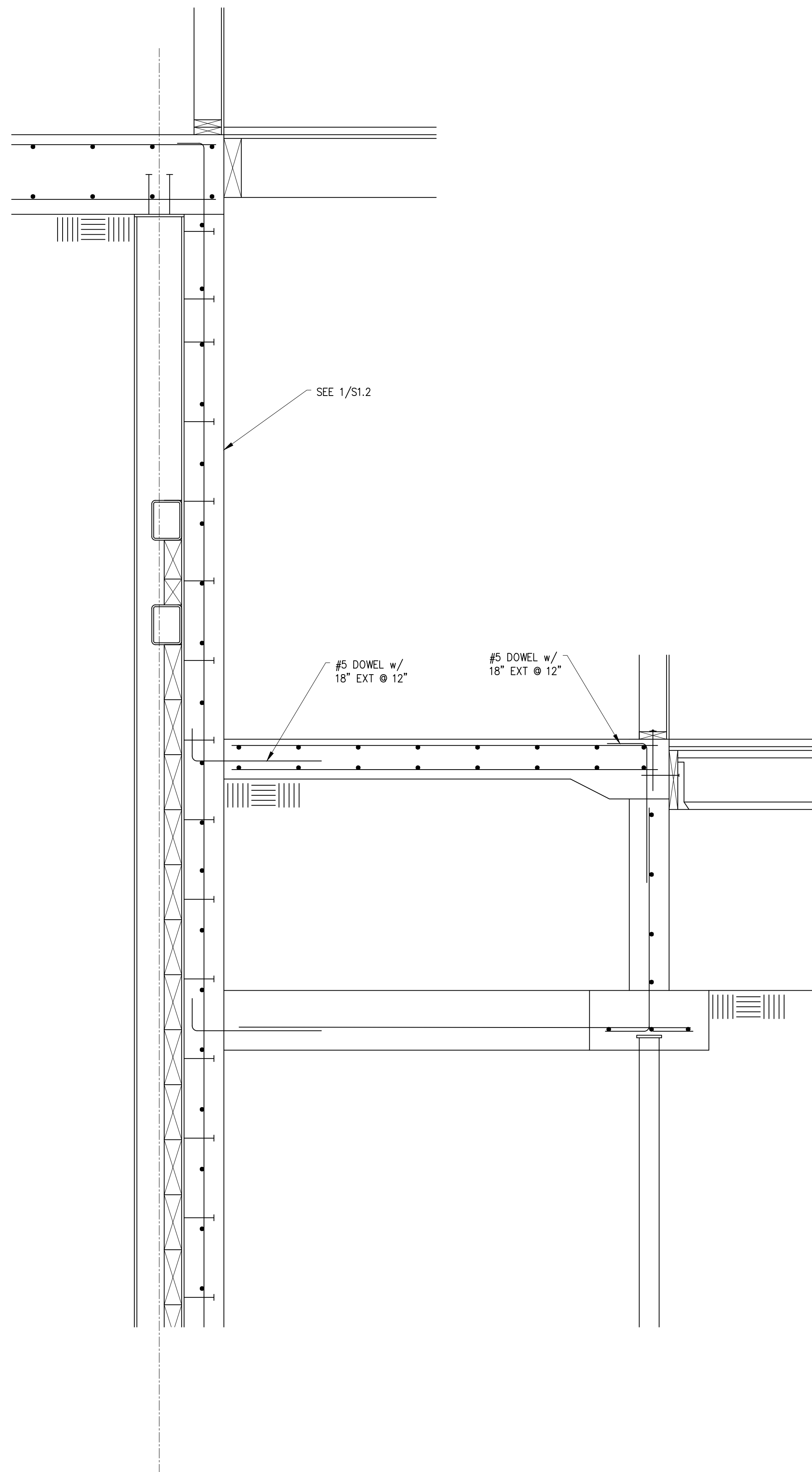
S3.2



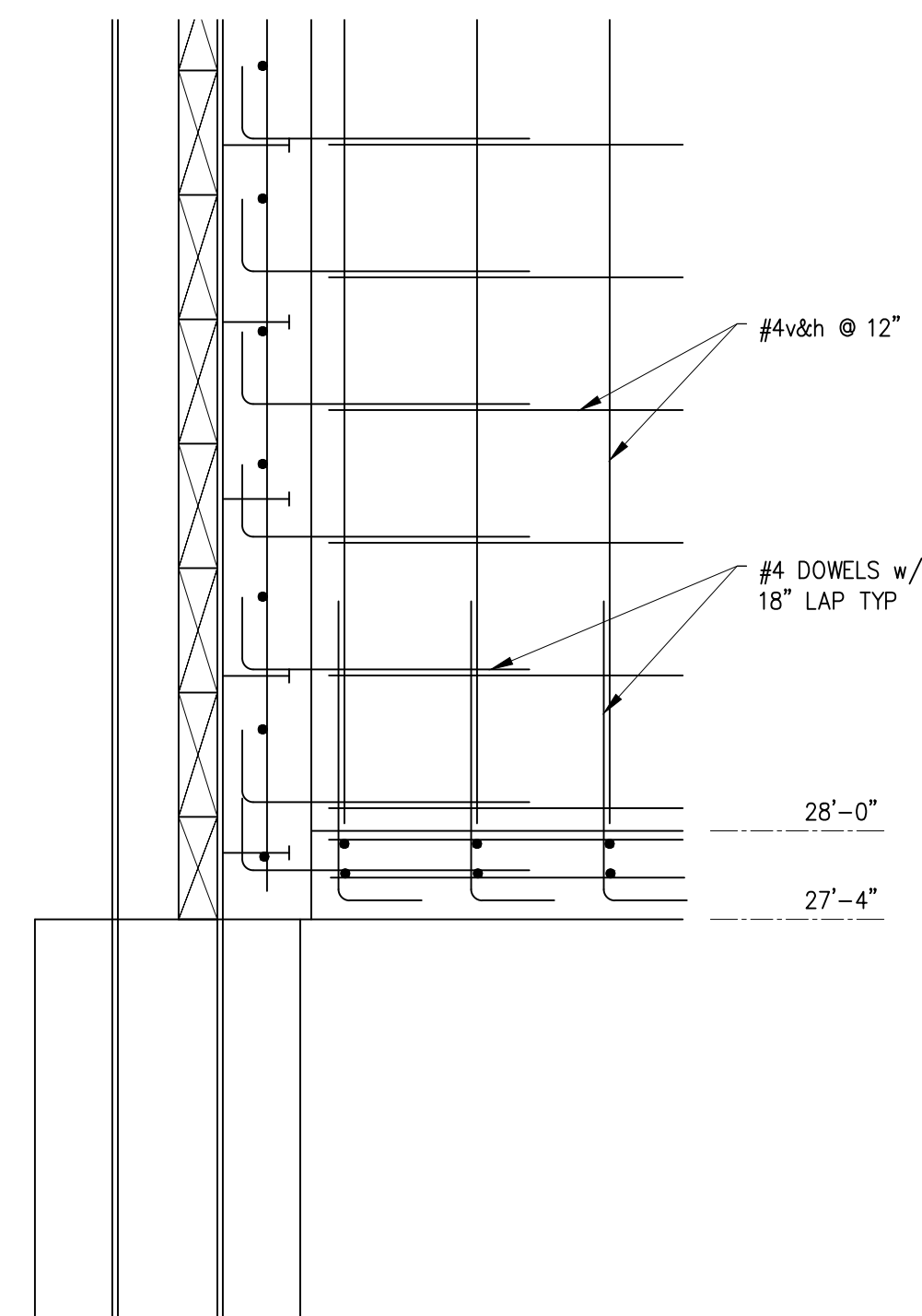
PROJECT:
 WEST VIEW RESIDENCE
 4045 WEST MERCER WAY
 MERCER ISLAND, WA 98040

CLIENT:
 FERAS ALROUK
 7683 SE 27th STREET UNIT #418
 MERCER ISLAND, WA 98040

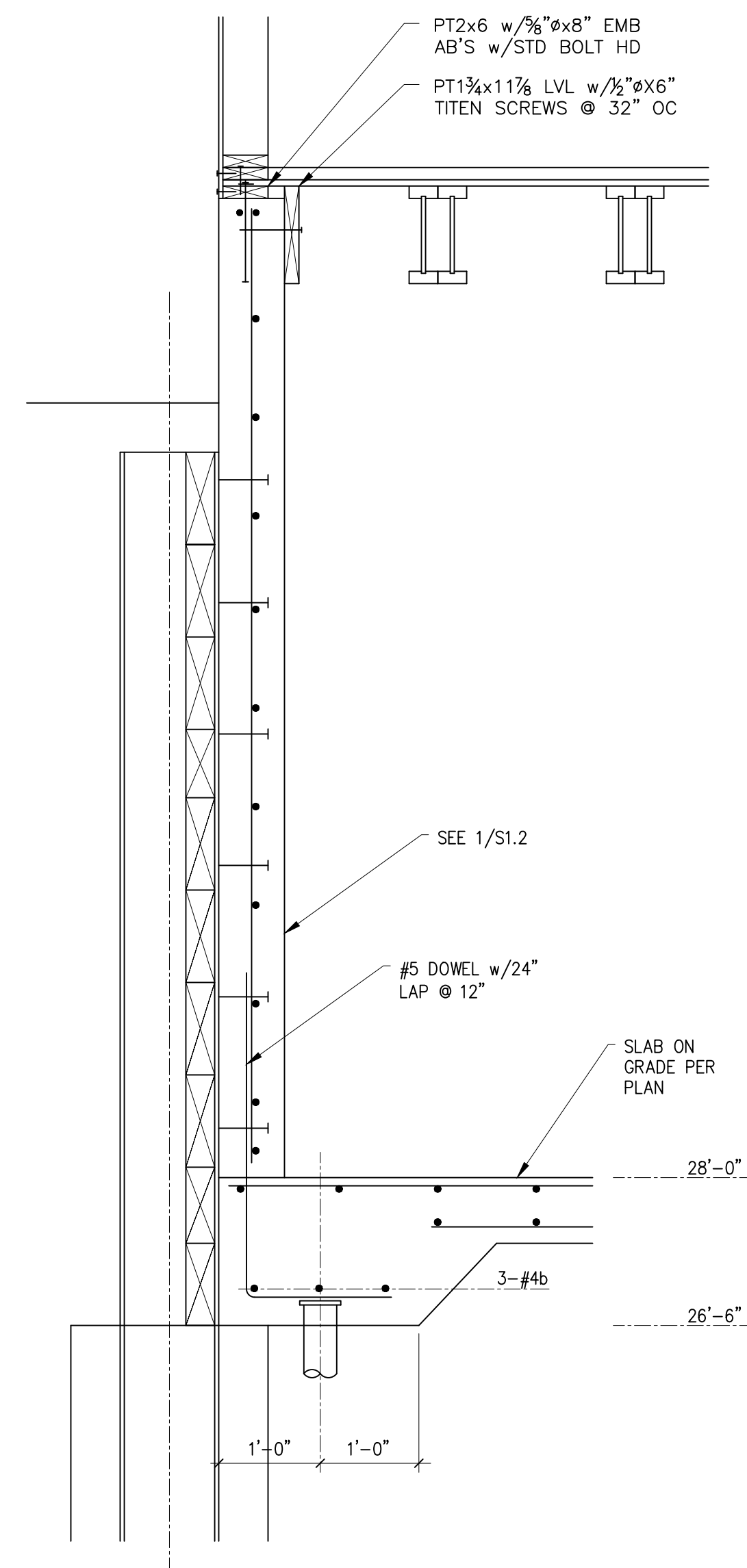
ISSUE:
 PERMIT SUBMITTAL 02-26-2022
 PERMIT COMMENTS RESPONSE
 08-16-2022



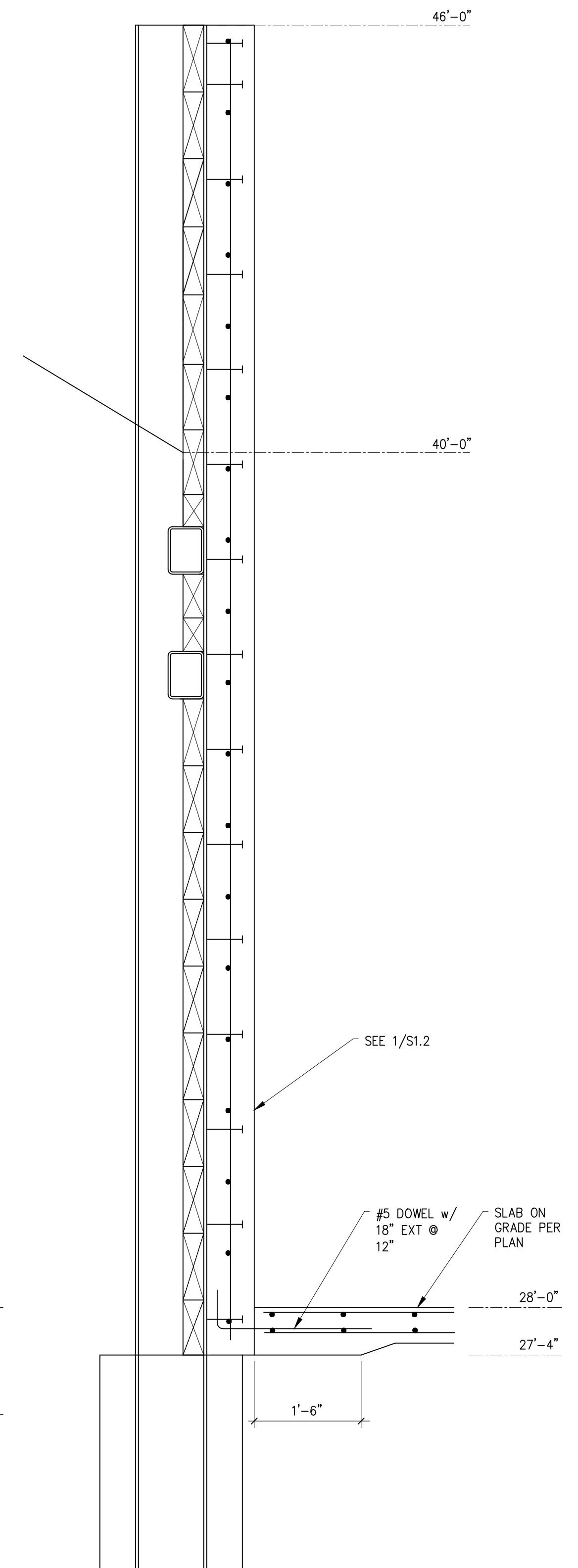
20 SECTION
 S3.3 SCALE: 3/4" = 1'-0"



18 SECTION
 S3.3 SCALE: 3/4" = 1'-0"



17 SECTION
 S3.3 SCALE: 3/4" = 1'-0"



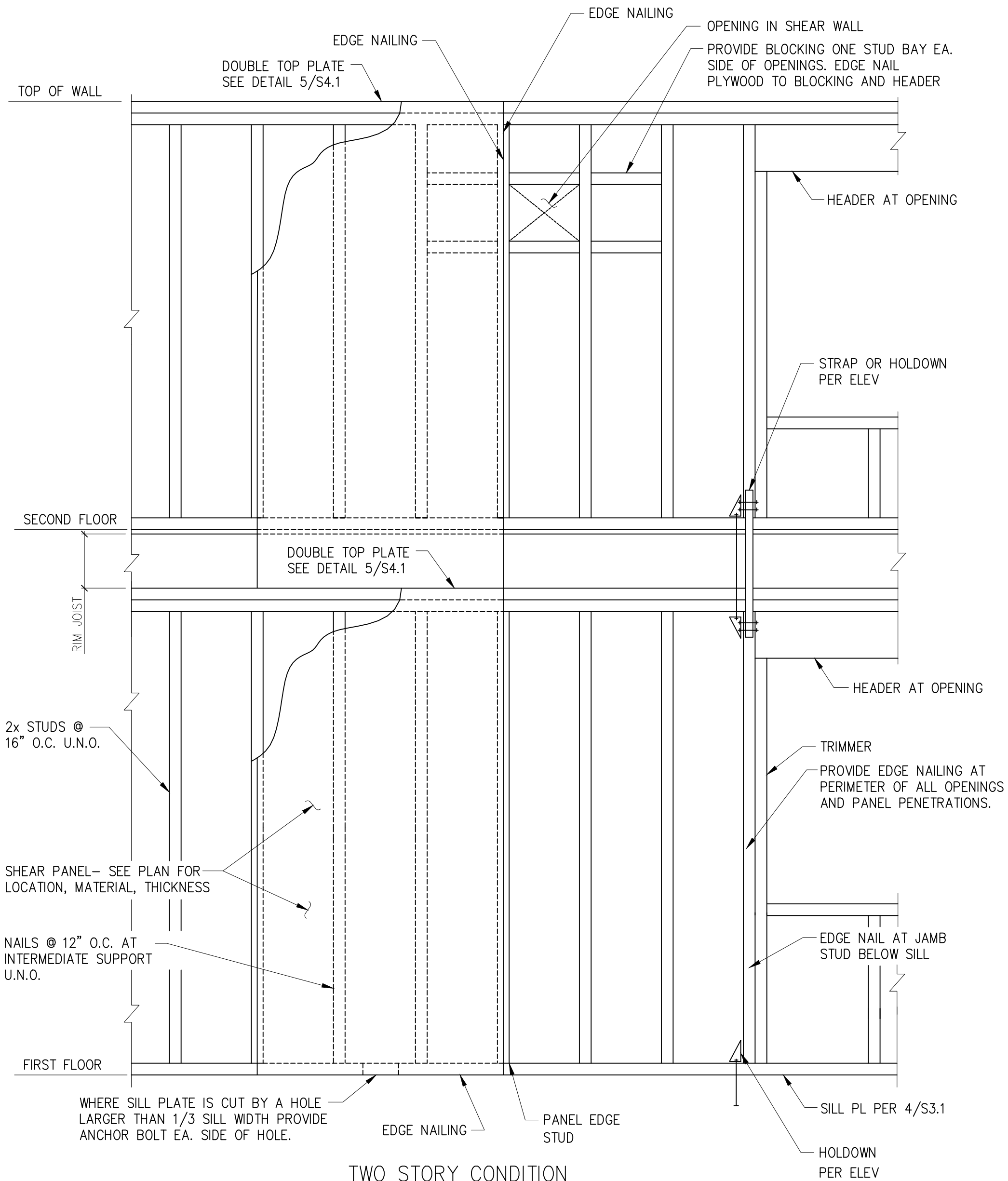
16 SECTION
 S3.3 SCALE: 3/4" = 1'-0"

DATE:
26 FEB 2022

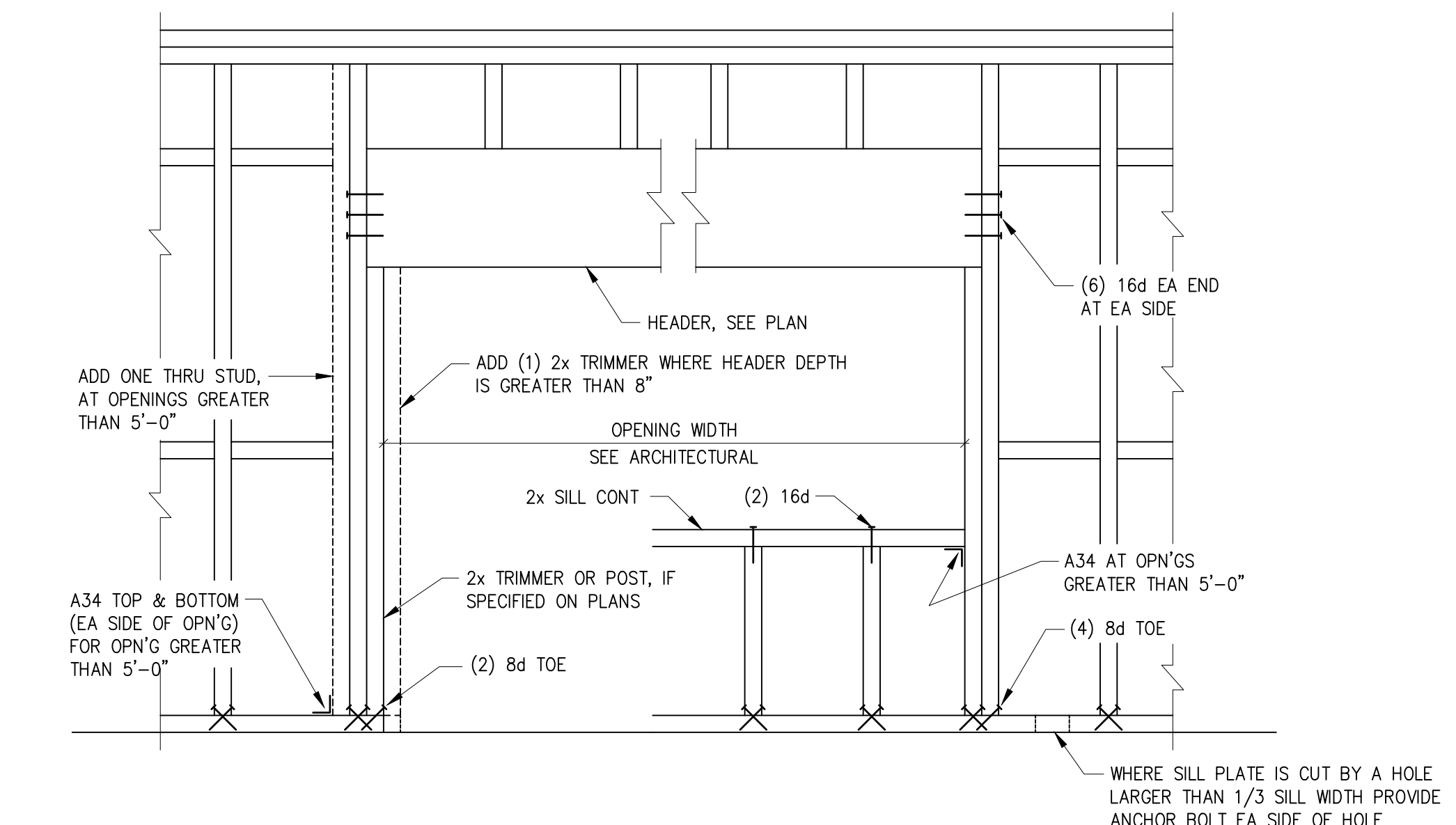
SHEET TITLE:
 FOUNDATION

DETAILS
 SHEET:

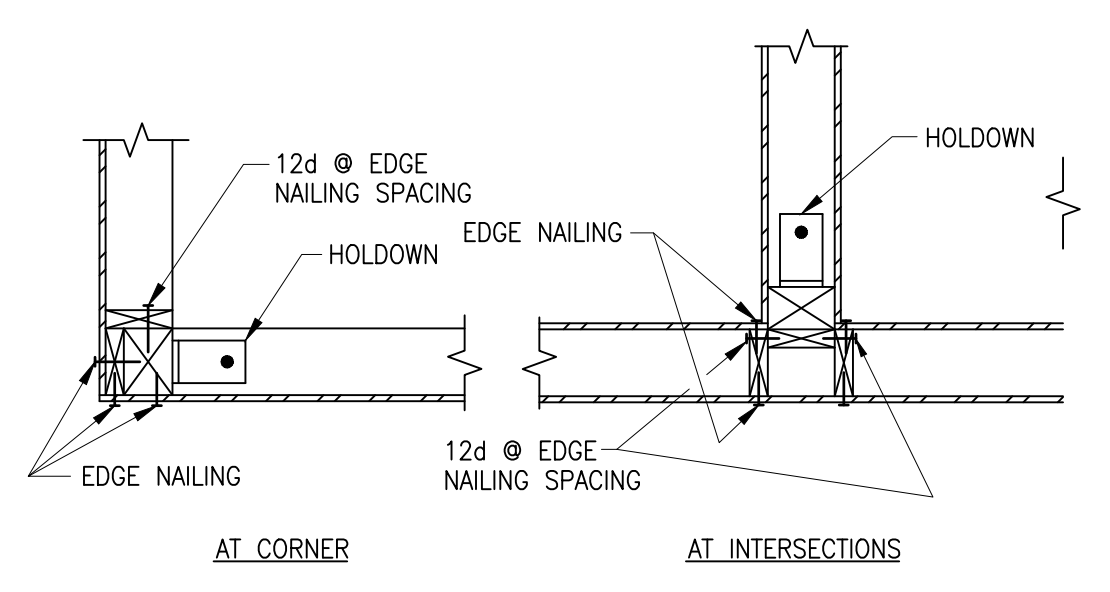
S3.3



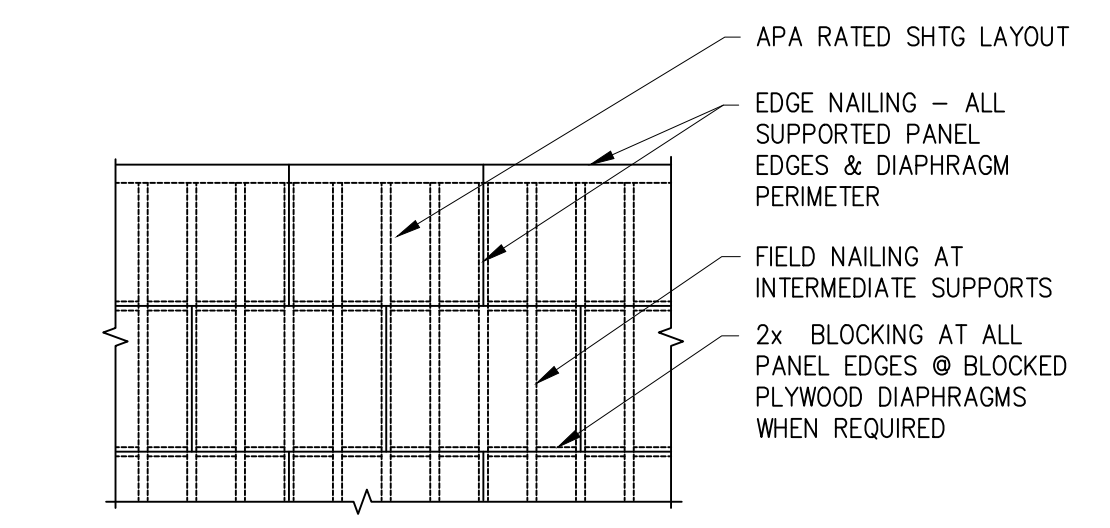
1 SHEAR WALL ELEVATION
S4.1 SCALE: 3/4" = 1'-0"



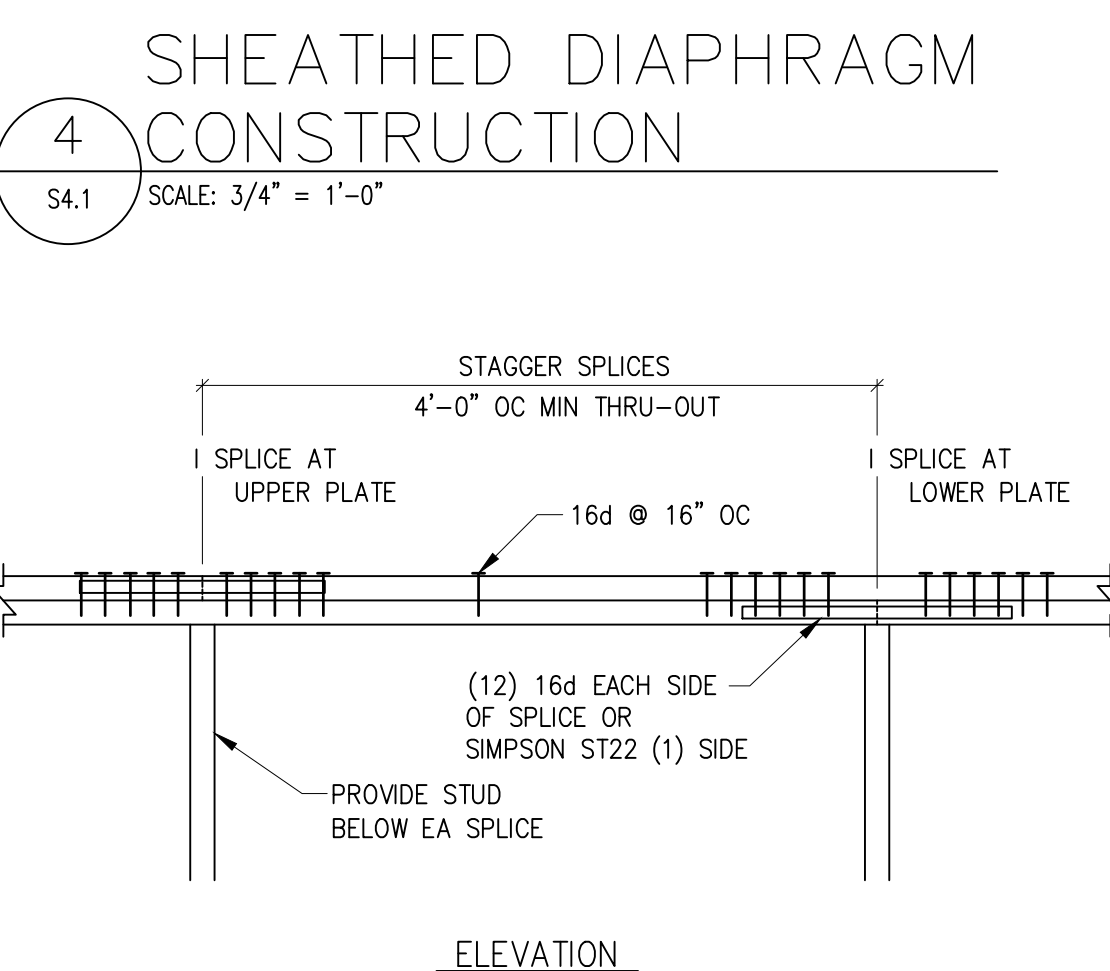
2 HEADER CONNECTION DETAIL
S4.1 SCALE: 3/4" = 1'-0"



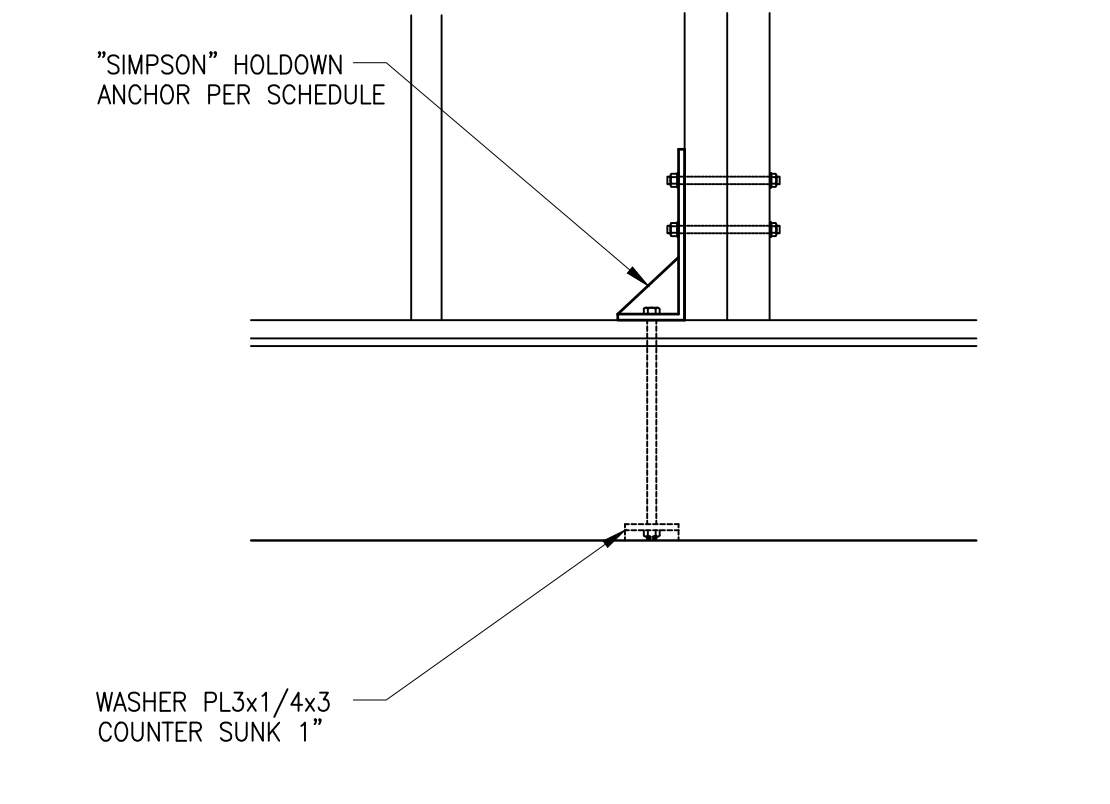
3 HOLDDOWN PLAN VIEWS
S4.1 SCALE: 3/4" = 1'-0"



4 SHEATHED DIAPHRAGM CONSTRUCTION
S4.1 SCALE: 3/4" = 1'-0"



5 DBL TOP PLATE SPLICE
S4.1 SCALE: 3/4" = 1'-0"



6 HOLDDOWN DETAIL
S4.1 SCALE: 3/4" = 1'-0"

"SIMPSON" HOLDDOWN SCHEDULE					
MARK	HOLDDOWN	ANCHOR BOLTS	STUD BOLTS	MIN POST REQUIRED	ALLOWABLE TENSION (lbs)
					DOUG-FIR
HD1	CS14	15 10d EA END	15 10d	(2) 2x	2490
HD2	HDU2-SDS2.5	SSTB16L	6-SDS 1/4"x2 1/2"	(2) 2x	3075
HD3	HDU4-SDS2.5	SSTB28L	10-SDS 1/4"x2 1/2"	(2) 2x	4565
HD4	HDU8-SDS2.5	SSTB28L	20-SDS 1/4"x2 1/2"	4x6	6970
HD5	HDU11-SDS2.5	SSTB28L	30-SDS 1/4"x2 1/2"	6x6	9535
HD6	HDU14-SDS2.5	SB1x30	36-SDS 1/4"x2 1/2"	6x6	13665

HOLD DOWN NOTES:

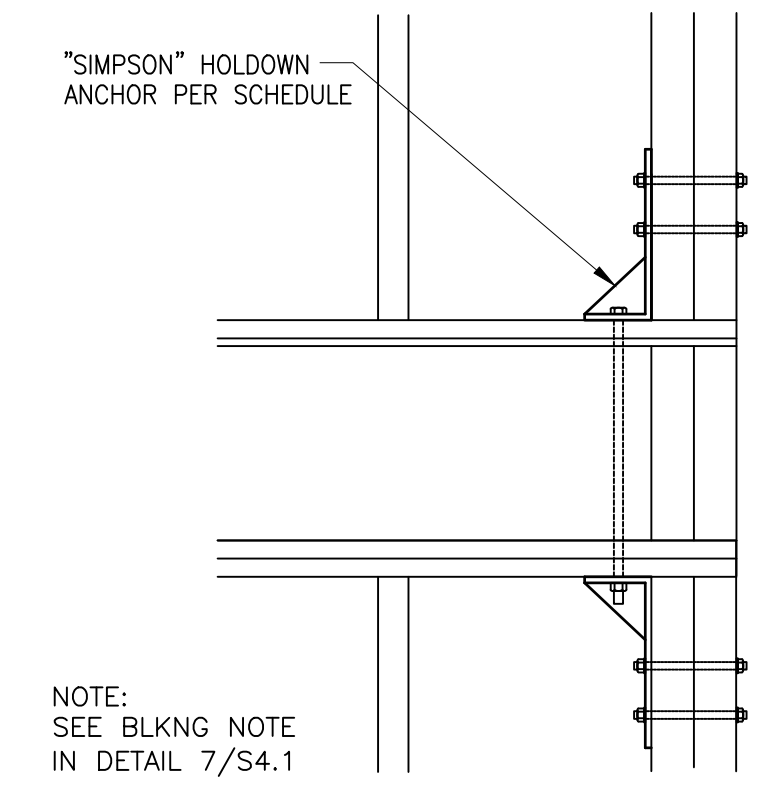
- HOLD DOWNS ARE REQUIRED AS SHOWN ON THE FRAMING ELEVATIONS.
- AT CORNERS COMMON TO TWO SHEAR WALLS USE THE LARGER OF THE HOLD DOWNS ONLY.
- ALL HOLD DOWN COLUMNS AND WOOD ATTACHMENTS SHALL BE DF.

SHEARWALL SCHEDULE								
MARK	APA RATED SHEATHING	NAILING AT PANEL EDGES	PANEL EDGE STUD AND BLKG	RIM JOIST OR BLOCK CONNECTION TO TOP PLATE	DOUG FIR #2, BOTTOM PLATE ATTACHMENT TO WOOD BELOW	PT DOUG FIR #2, SILL PLATE ATTACHMENT		CAPACITY (plf)
						ANCHOR BOLT	SILL	
SW1	15/32" PLYWOOD SHEATHING, ONE SIDE	10d @ 6" OC	2X	A35 @ 16" OC	(2) 16d @ 16" OC OR 5/8" LAG SCREWS @ 32" OC	5/8" @ 48" OC	2X	310
SW2	15/32" PLYWOOD SHEATHING, ONE SIDE	10d @ 4" OC	3X MIN	A34 AND LTP4 @ 16" OC	(2) 16d @ 8" OC OR 5/8" LAG SCREWS @ 16" OC	5/8" @ 18" OC	3X MIN	460
SW3	15/32" PLYWOOD SHEATHING, ONE SIDE	10d @ 3" OC	3X MIN	A35 AND LTP4 @ 16" OC	5/8" LAG SCREWS @ 12" OC	5/8" @ 12" OC	3X MIN	600
SW4	15/32" PLYWOOD SHEATHING, ONE SIDE	10d @ 2" OC	3X MIN	A35 AND LTP4 @ 16" OC	5/8" LAG SCREWS @ 8" OC	5/8" @ 9" OC	3X MIN	770
SW5	15/32" PLYWOOD SHEATHING, TWO SIDES	10d @ 3" OC	3X MIN	A35 AND LTP4 @ 8" OC	5/8" LAG SCREWS @ 4" OC	5/8" @ 6" OC	3X MIN	1200

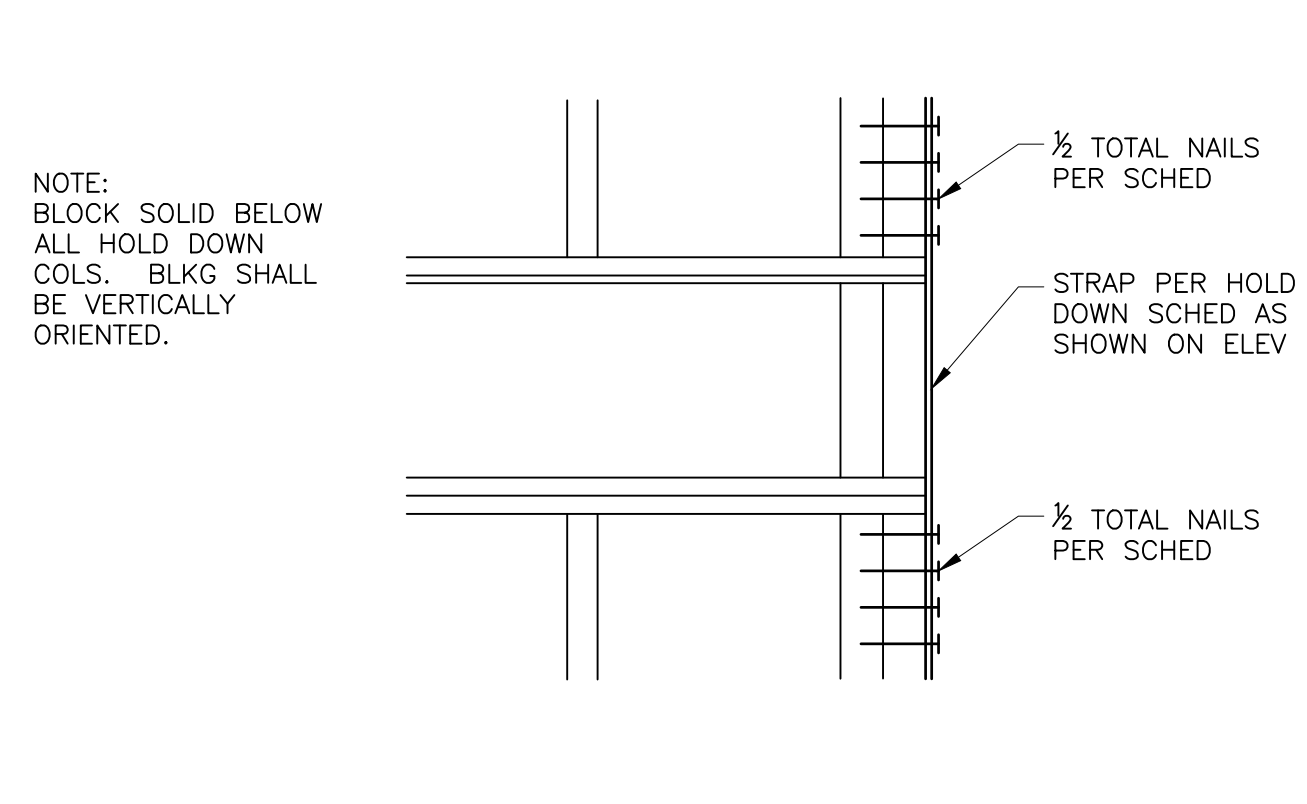
SHEAR WALL NOTES:

- INSTALL PANELS EITHER HORIZONTALLY OR VERTICALLY.
- WHERE SHEATHING IS APPLIED ON BOTH FACES OF WALL, PANEL JOINTS SHALL BE STAGGERED SO THAT JOINTS ON OPPOSITE SIDES ARE NOT LOCATED ON THE SAME STUDS.
- BLOCKING IS REQUIRED AT ALL PANEL EDGES.
- PROVIDE SHEARWALL SHEATHING AND NAILING FOR THE ENTIRE LENGTH OF THE WALLS INDICATED ON PLAN.
- INTERMEDIATE FRAMING TO BE WITH 2X MINIMUM MEMBERS. FIELD NAILING @ 12" OC.
- PROVIDE HOT-DIPPED GALVANIZED (ELECTRO-PLATING IS NOT ACCEPTABLE) NAILS AND CONNECTOR PLATES FOR ALL CONNECTORS IN CONTACT WITH PRESSURE TREATED FRAMING MEMBERS.
- WHERE BOTTOM PLATE ATTACHMENT SPECIFIES (2) ROWS OF NAILS, PROVIDE DOUBLE JOIST, RIM OR EQUAL. ATTACH PER DETAILS.
- ALL SHEAR WALL FRAMING TO BE DF. NO OTHER SPECIES ALLOWED.

7 SHEAR WALL & HOLD DOWN SCHEDULES
NO SCALE

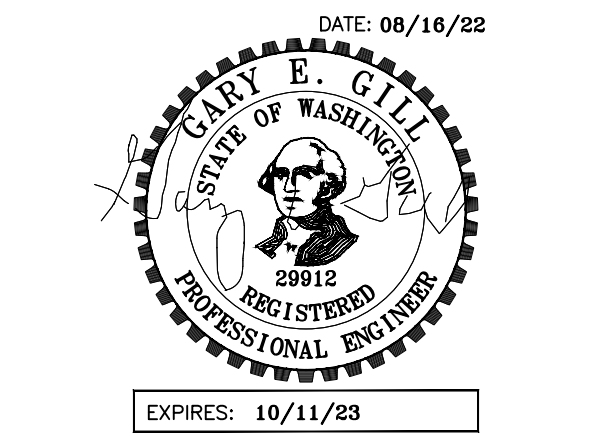


7 HOLDDOWN DETAIL
S4.1 SCALE: 3/4" = 1'-0"



8 HOLDDOWN DETAIL
S4.1 SCALE: 3/4" = 1'-0"

GARY GILL, SE
1125 NE 152nd STREET
SHORELINE, WA 98155
PH: 206-992-2728
GILL26608@YAHOOCOM



PROJECT:
WEST VIEW RESIDENCE
4045 WEST MERCER WAY
MERCER ISLAND, WA 98040

CLIENT:
FERAS ALROUK
7683 SE 27th STREET UNIT #418
MERCER ISLAND, WA 98040

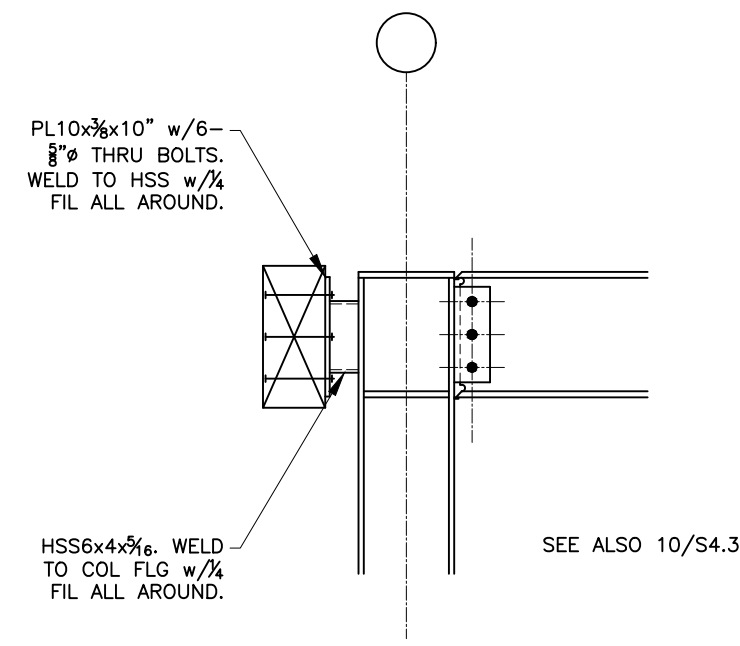
ISSUE:
PERMIT SUBMITTAL 02-26-2022
PERMIT COMMENTS RESPONSE 08-16-2022

DATE:
26 FEB 2022

SHEET TITLE:
TYP FRAMING

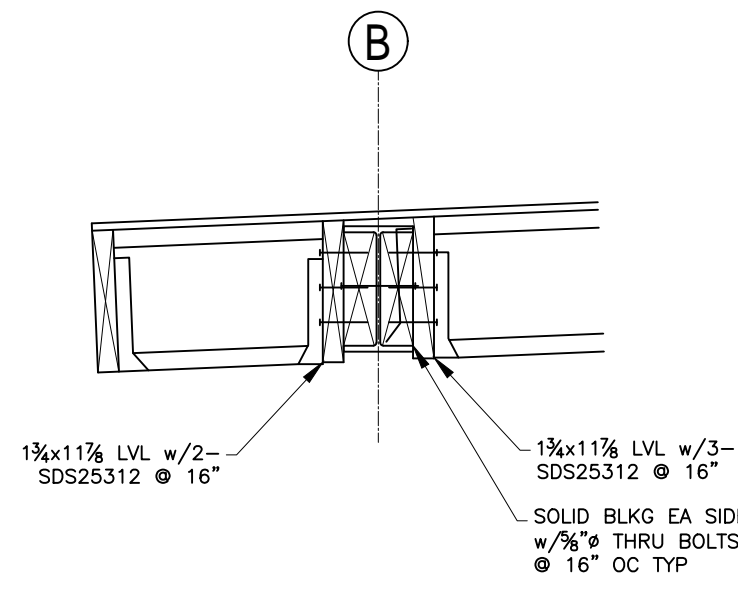
DETAILS
SHEET:

S4.1

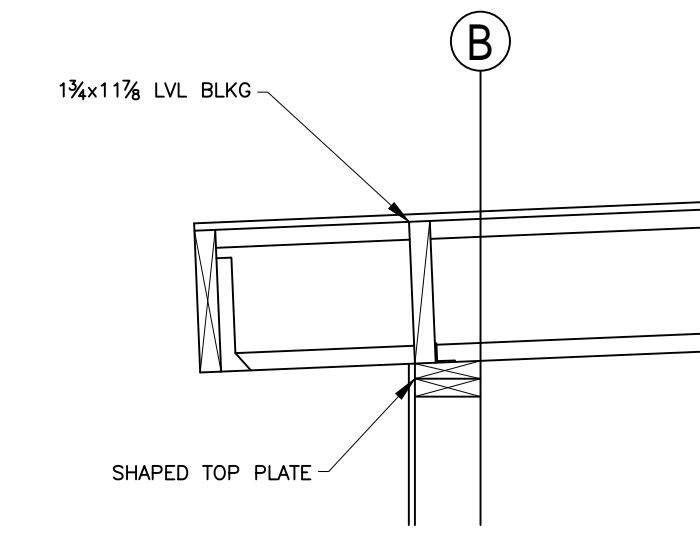


SEE ALSO 10/S4.3

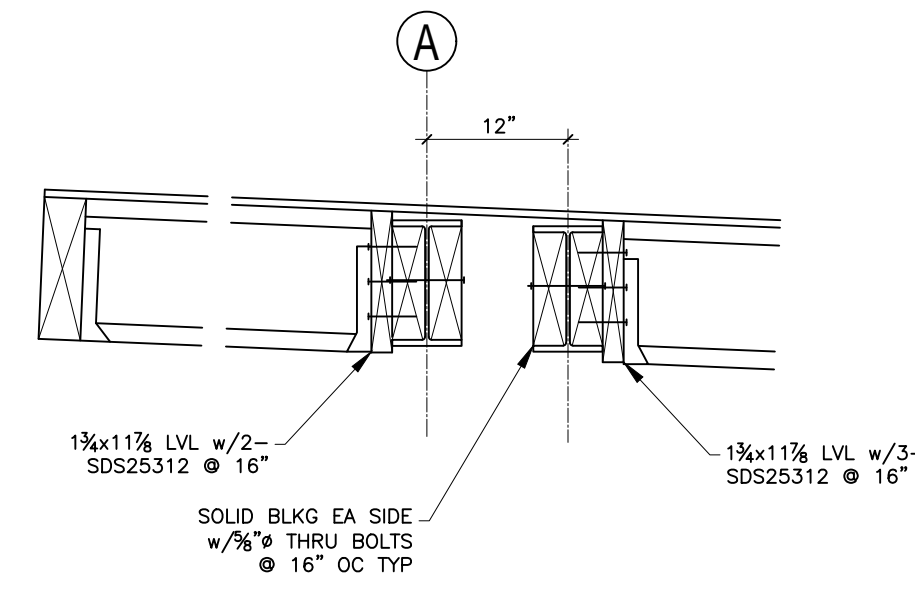
5 SECTION
S4.2 SCALE: 3/4" = 1'-0"



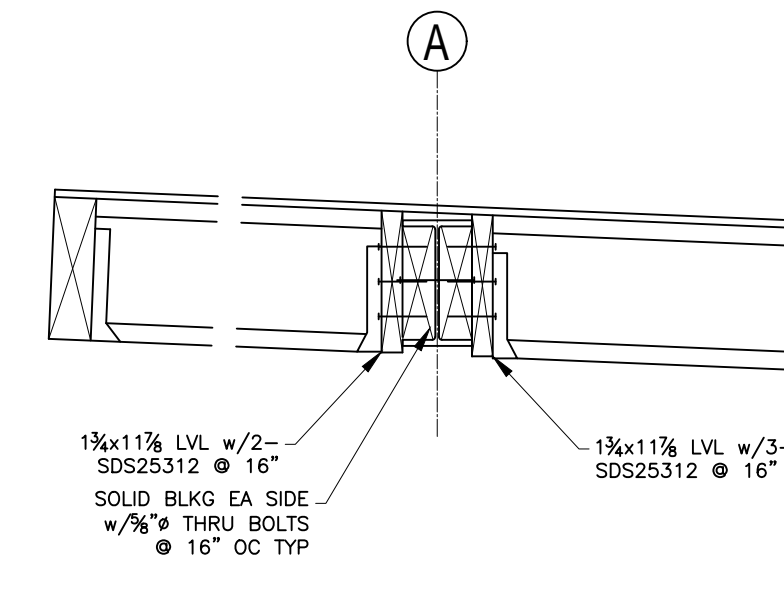
4 SECTION
S4.2 SCALE: 3/4" = 1'-0"



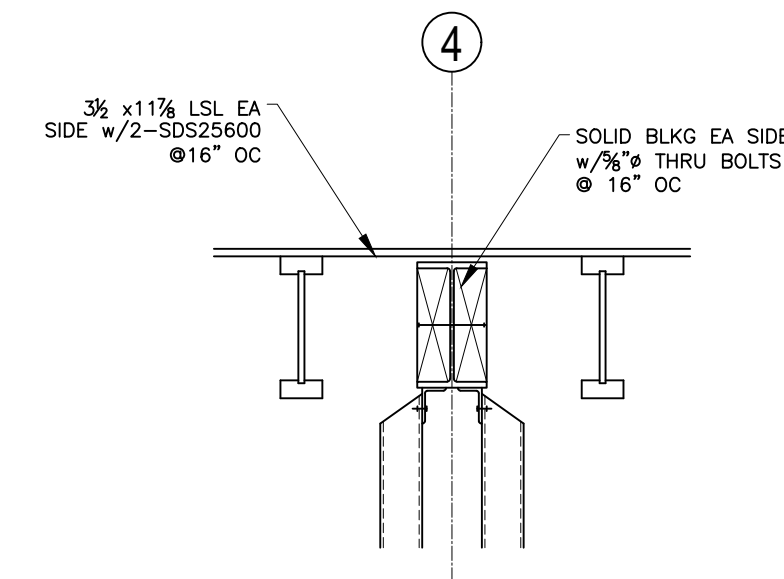
3 SECTION
S4.2 SCALE: 3/4" = 1'-0"



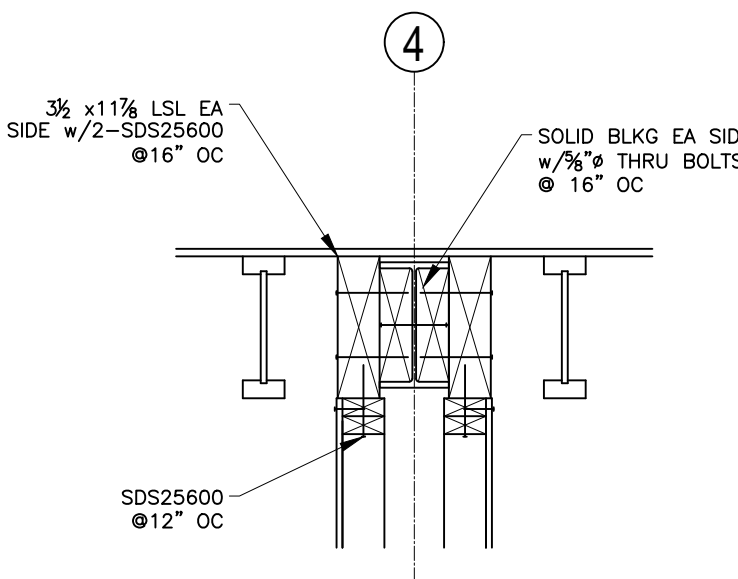
2 SECTION
S4.2 SCALE: 3/4" = 1'-0"



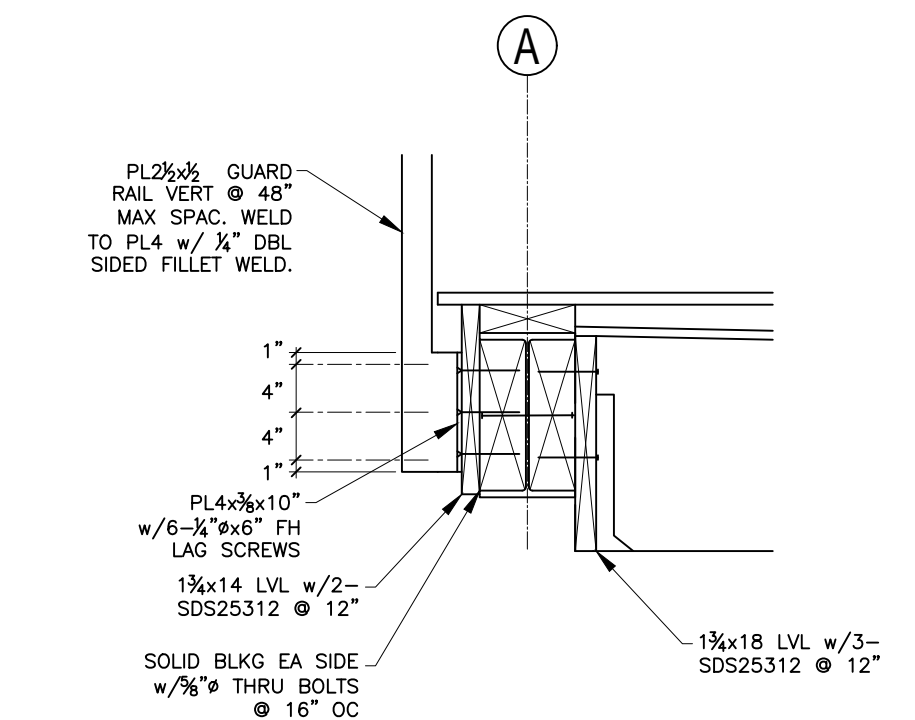
1 SECTION
S4.2 SCALE: 3/4" = 1'-0"



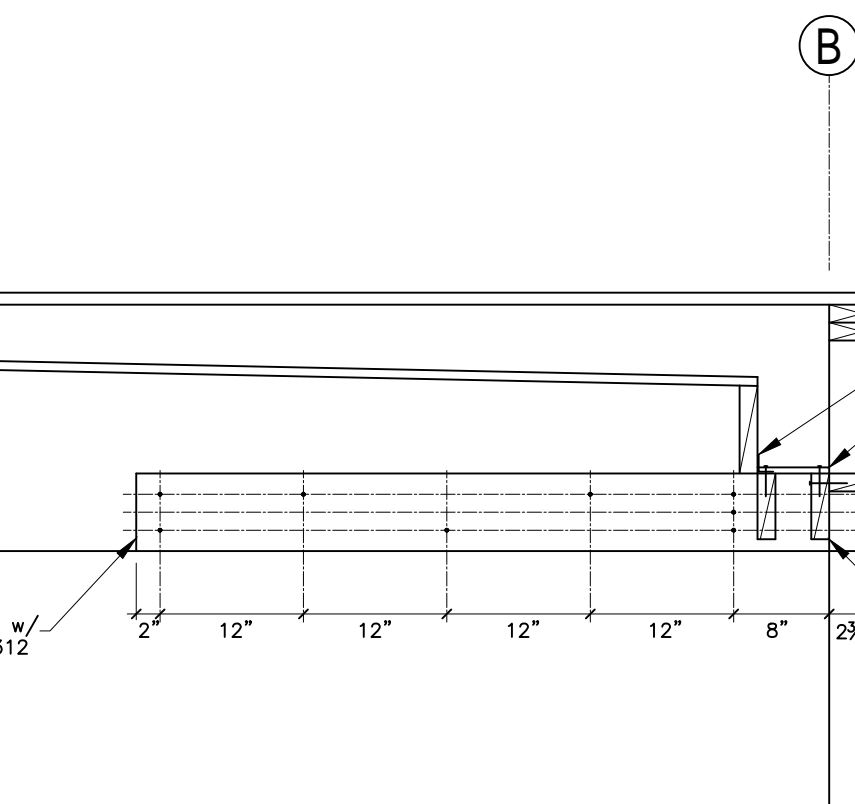
10 SECTION
S4.2 SCALE: 3/4" = 1'-0"



9 SECTION
S4.2 SCALE: 3/4" = 1'-0"



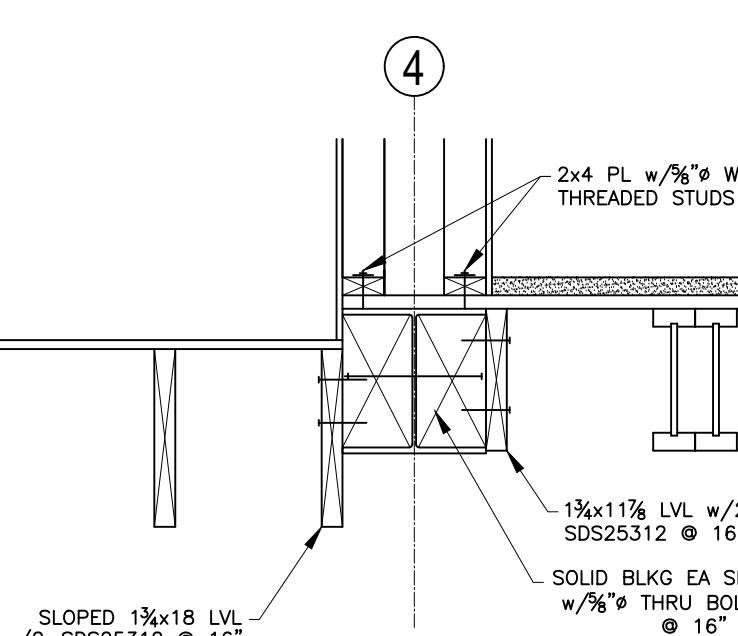
7 SECTION
S4.2 SCALE: 3/4" = 1'-0"



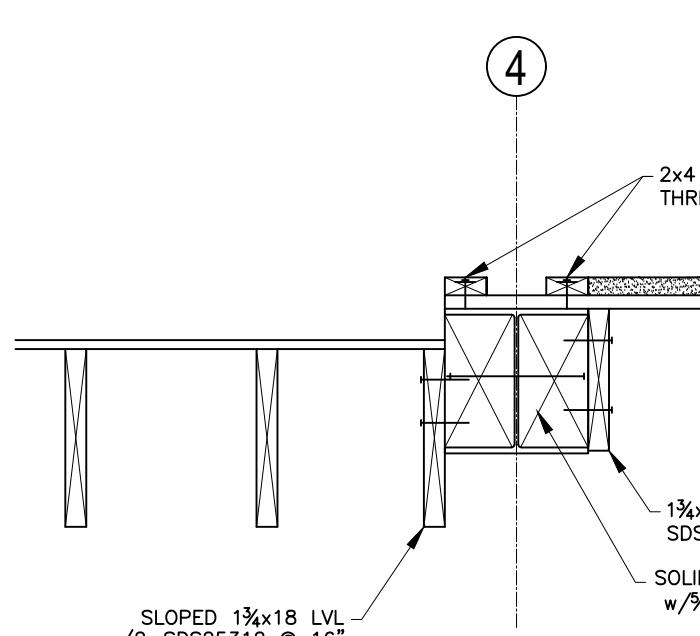
6 SECTION
S4.2 SCALE: 3/4" = 1'-0"



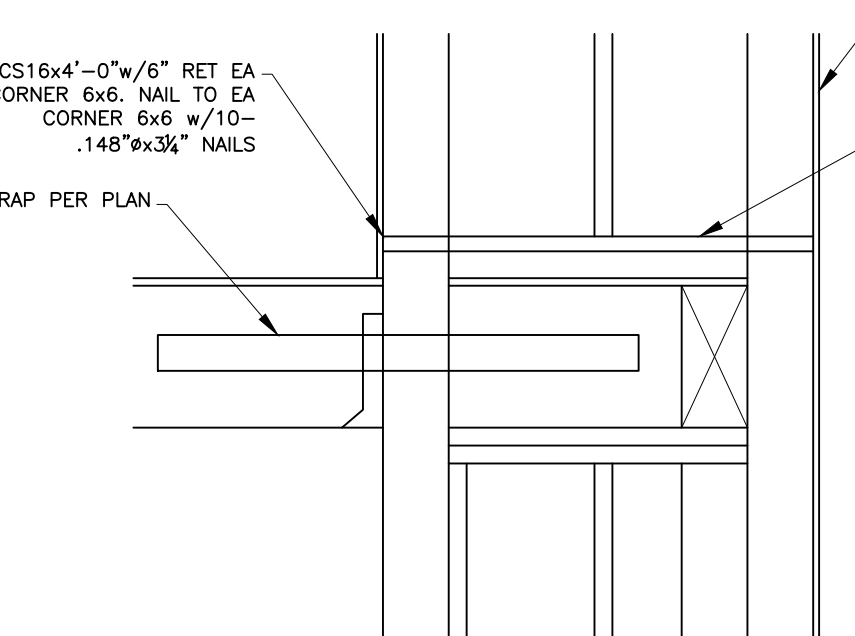
14 SECTION
S4.2 SCALE: 3/4" = 1'-0"



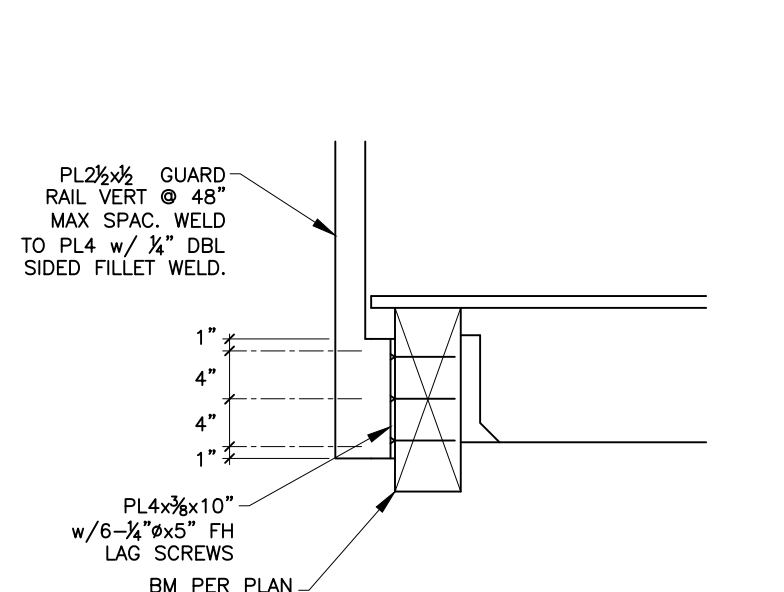
13 SECTION
S4.2 SCALE: 3/4" = 1'-0"



12 SECTION
S4.2 SCALE: 3/4" = 1'-0"



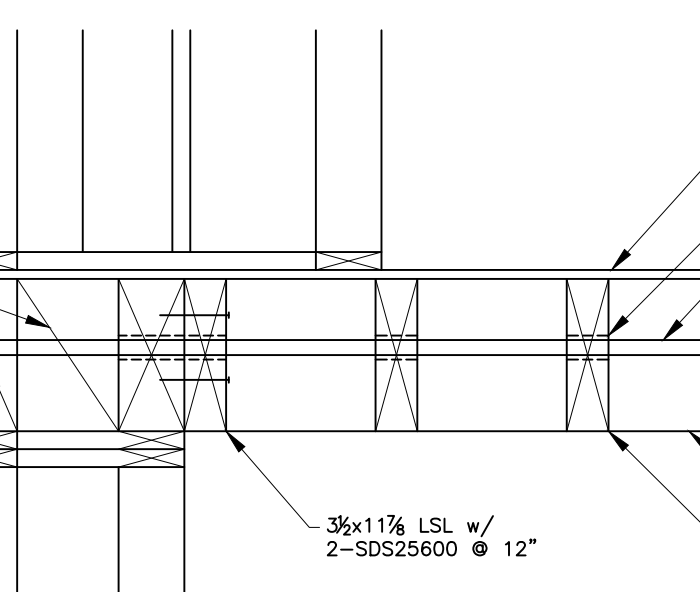
11 SECTION
S4.2 SCALE: 3/4" = 1'-0"



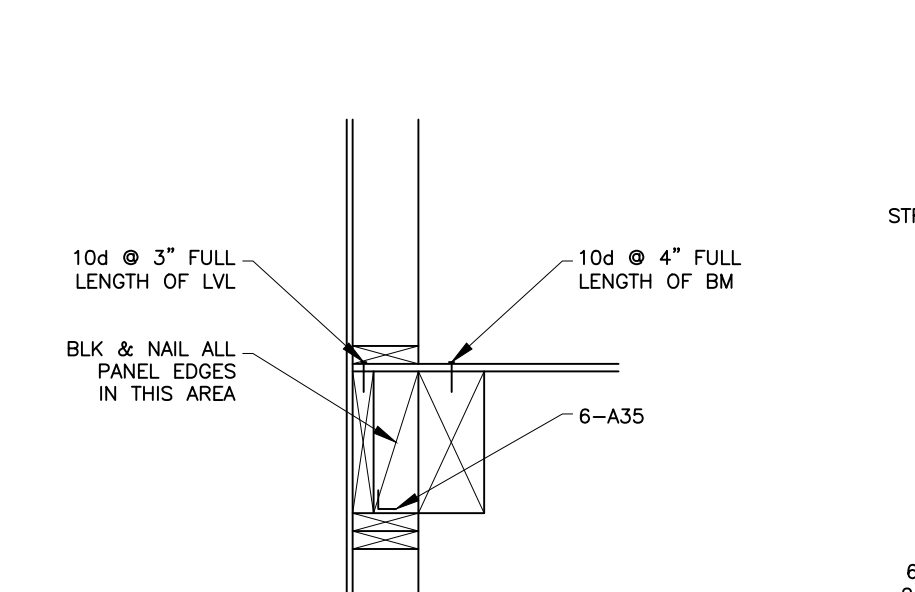
20 SECTION
S4.2 SCALE: 3/4" = 1'-0"



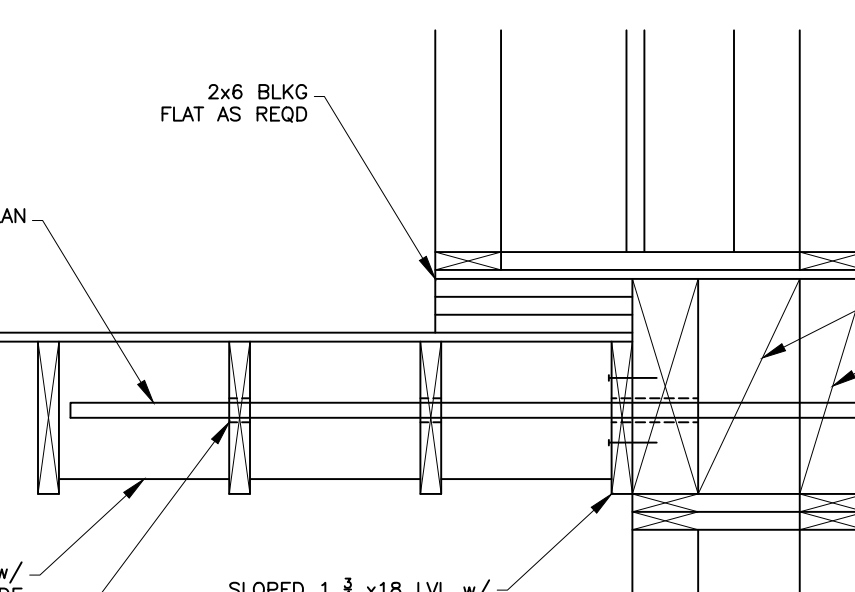
14 SECTION
S4.2 SCALE: 3/4" = 1'-0"



18 SECTION
S4.2 SCALE: 3/4" = 1'-0"



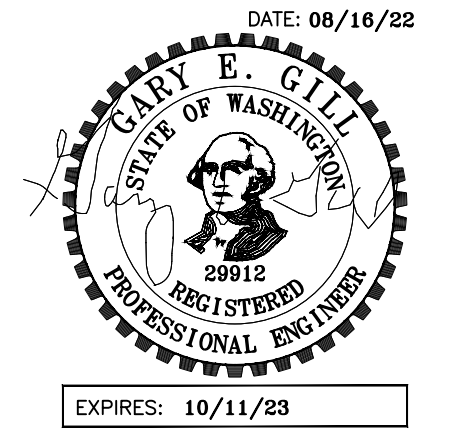
17 SECTION
S4.2 SCALE: 3/4" = 1'-0"



16 SECTION
S4.2 SCALE: 3/4" = 1'-0"

GARY GILL, SE
1125 NE 152nd STREET
SHORELINE, WA 98155
PH: 206-992-2728
GILL26608@YAHOO.COM

COPYRIGHT 2016 McCLELLAN ARCHITECTS



PROJECT:
WEST VIEW RESIDENCE
4045 WEST MERCER WAY
MERCER ISLAND, WA 98040

CLIENT:
FERAS ALROUK
7683 SE 27th STREET UNIT #418
MERCER ISLAND, WA 98040

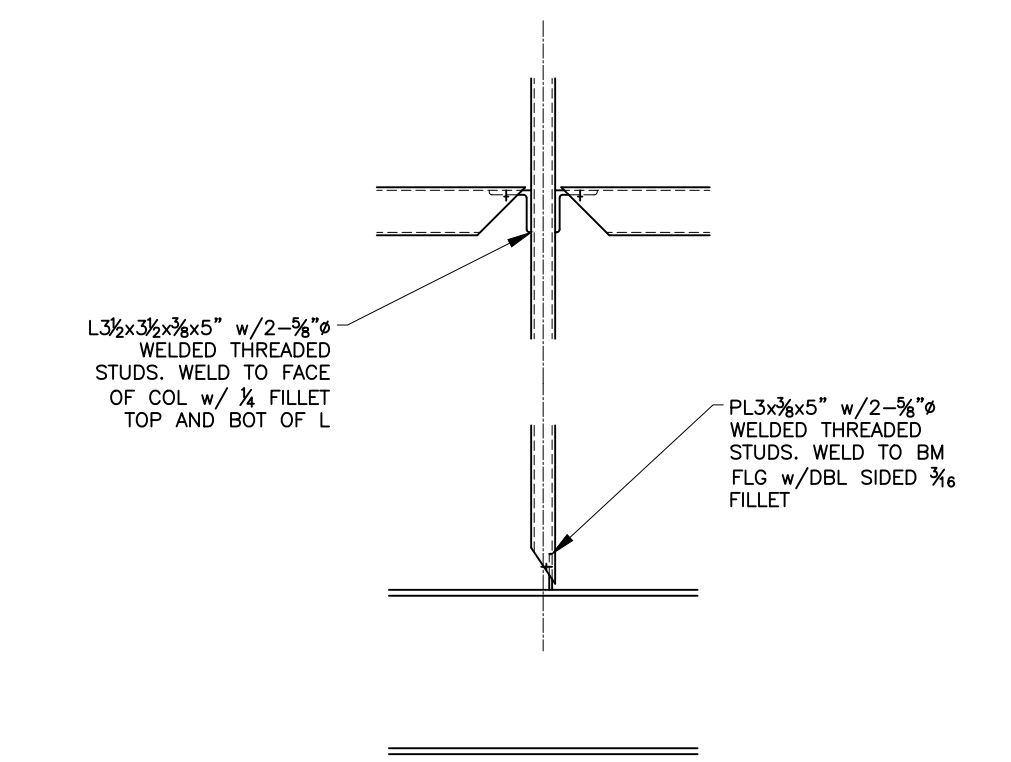
ISSUE:
PERMIT SUBMITTAL 02-26-2022
PERMIT COMMENTS RESPONSE
08-16-2022

DATE:
26 FEB 2022

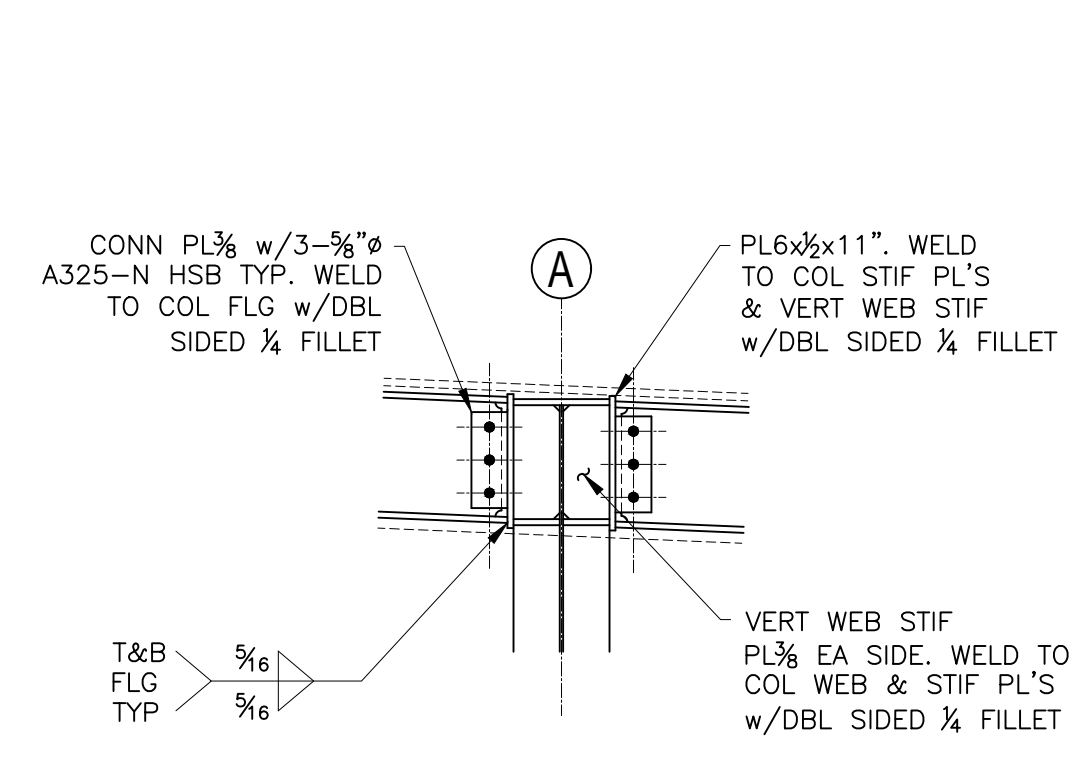
SHEET TITLE:
FRAMING DETAILS

SHEET:

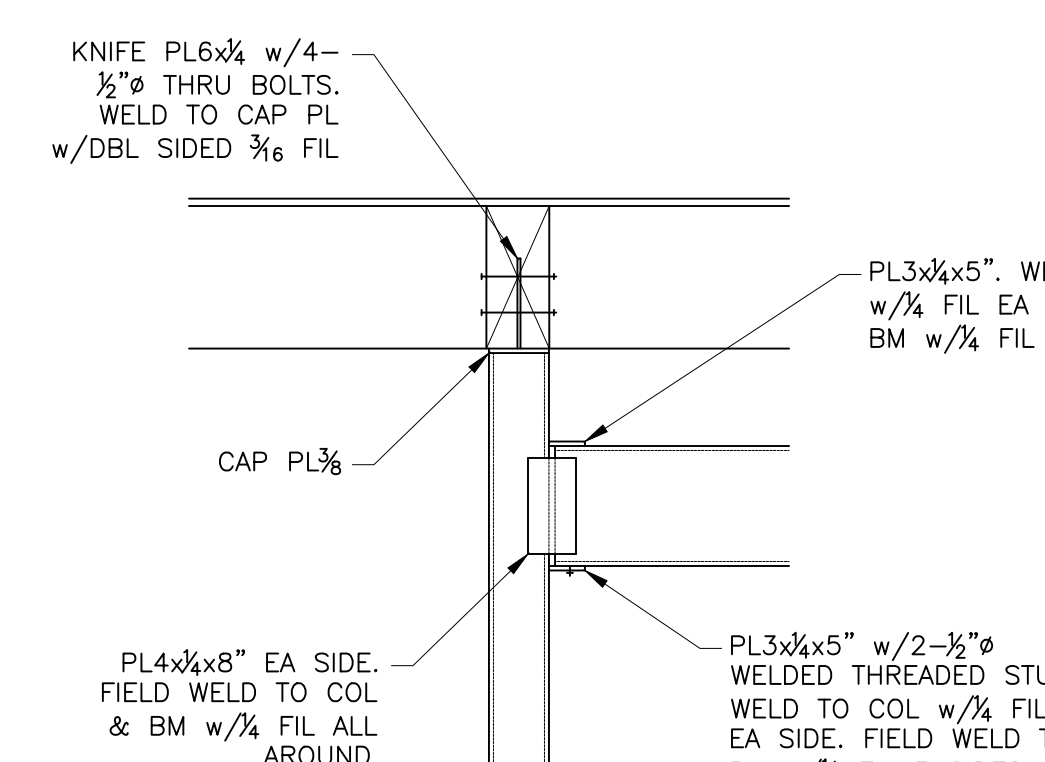
S4.2



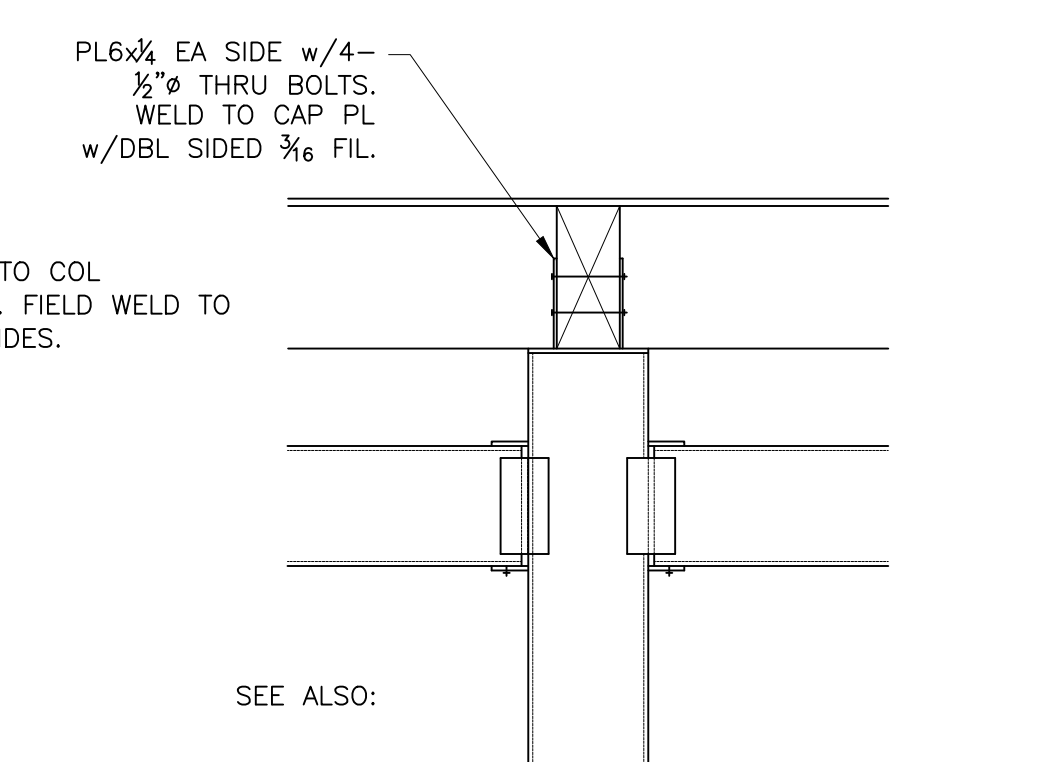
5 SECTION
S4.3 SCALE: 3/4" = 1'-0"



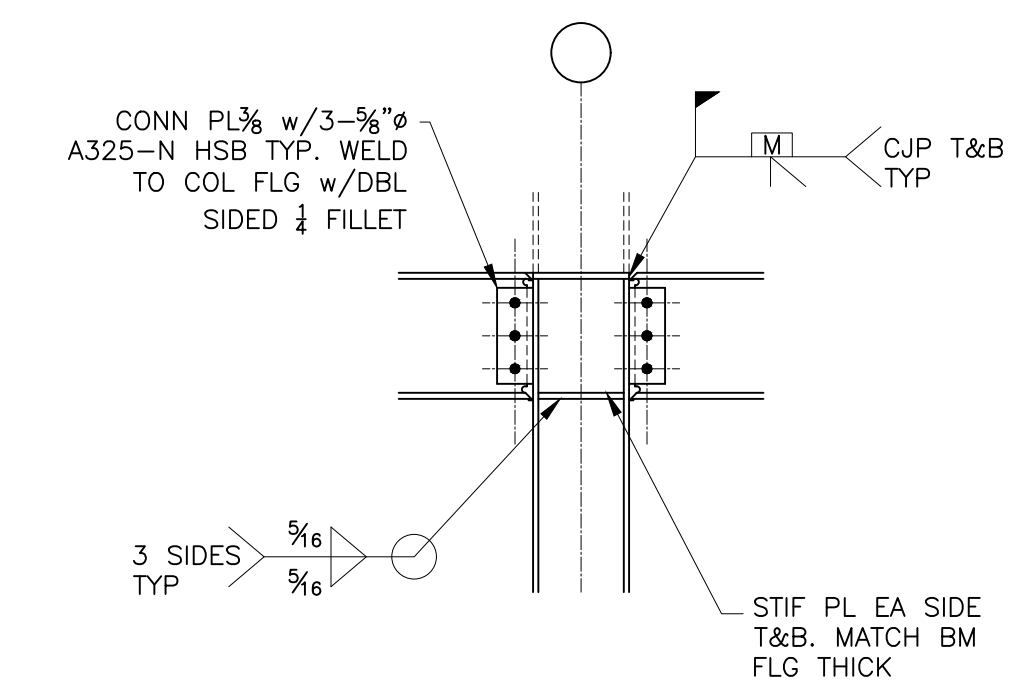
4 SECTION
S4.3 SCALE: 3/4" = 1'-0"



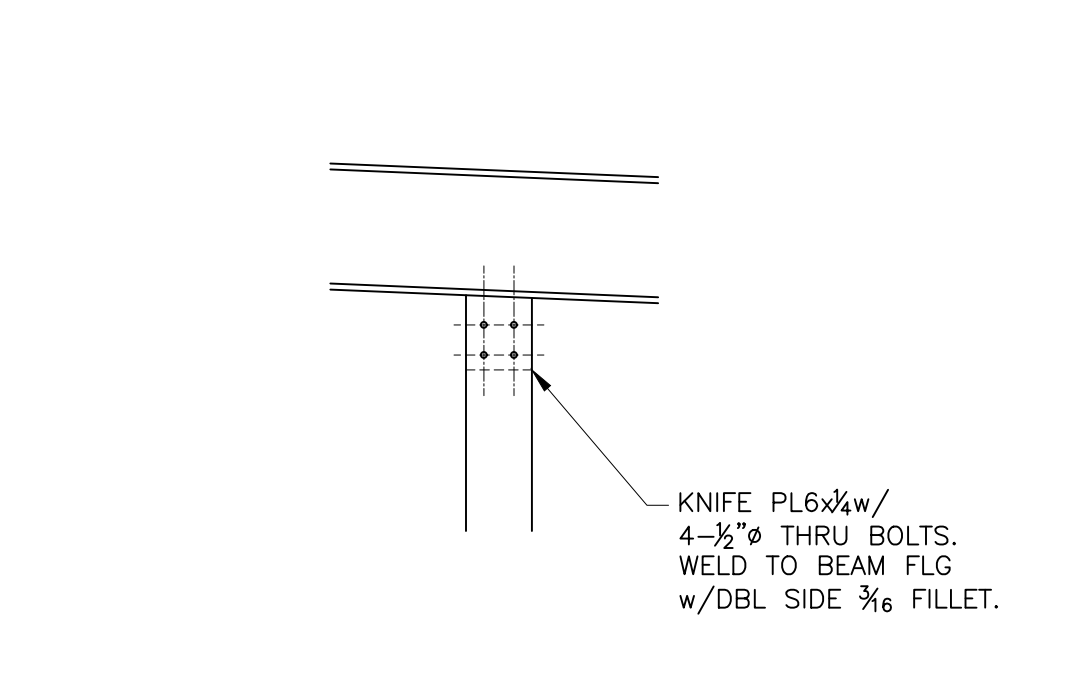
3 SECTION
S4.3 SCALE: 3/4" = 1'-0"



2 SECTION
S4.3 SCALE: 3/4" = 1'-0"



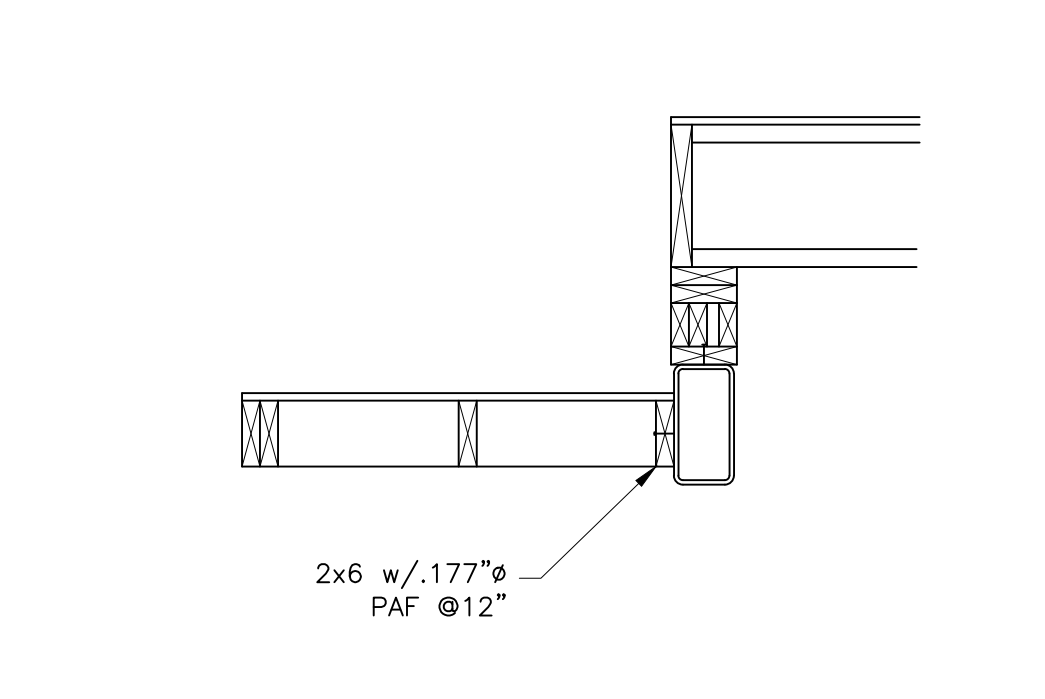
10 SECTION
S4.3 SCALE: 3/4" = 1'-0"



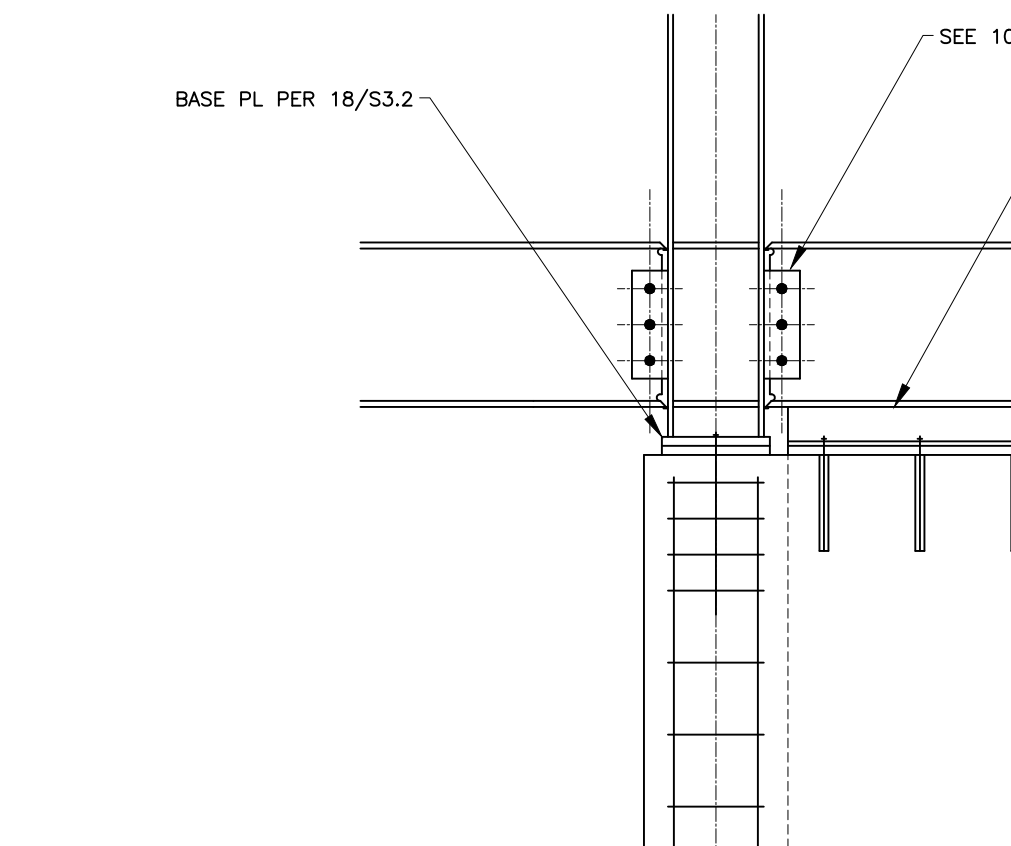
9 SECTION
S4.3 SCALE: 3/4" = 1'-0"



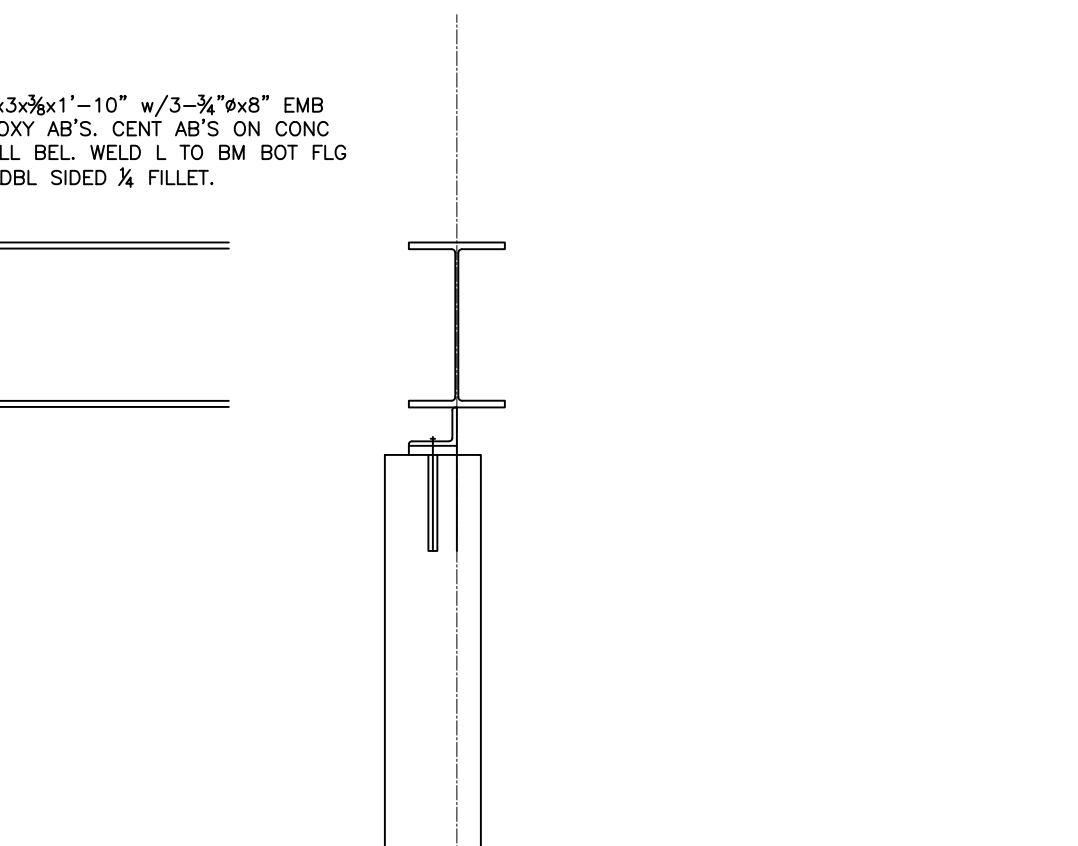
7 SECTION
S4.3 SCALE: 3/4" = 1'-0"



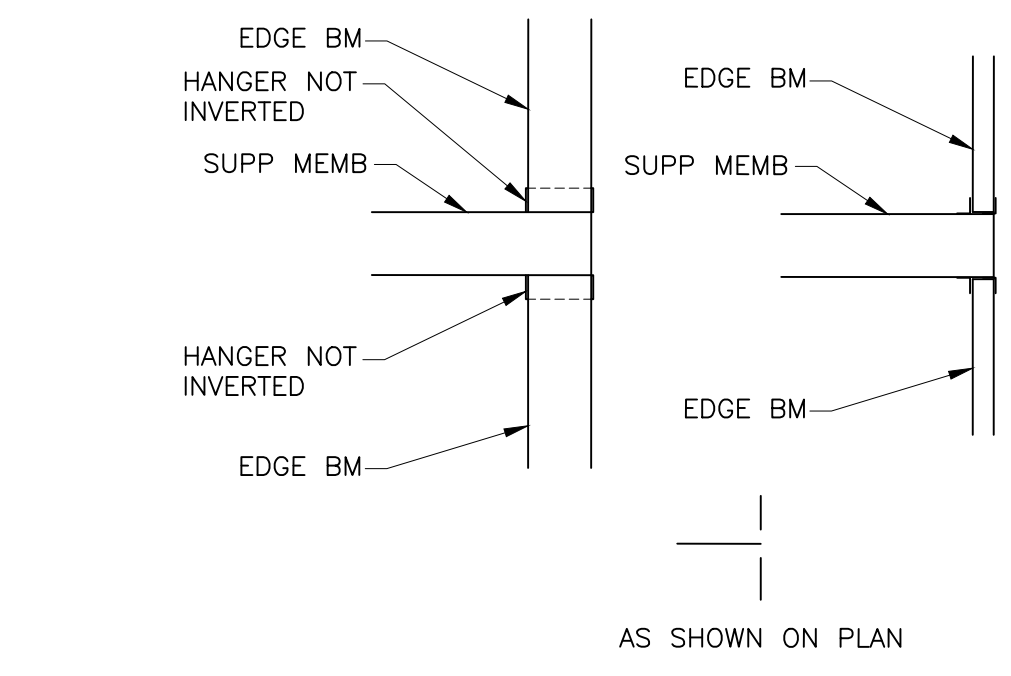
6 SECTION
S4.3 SCALE: 3/4" = 1'-0"



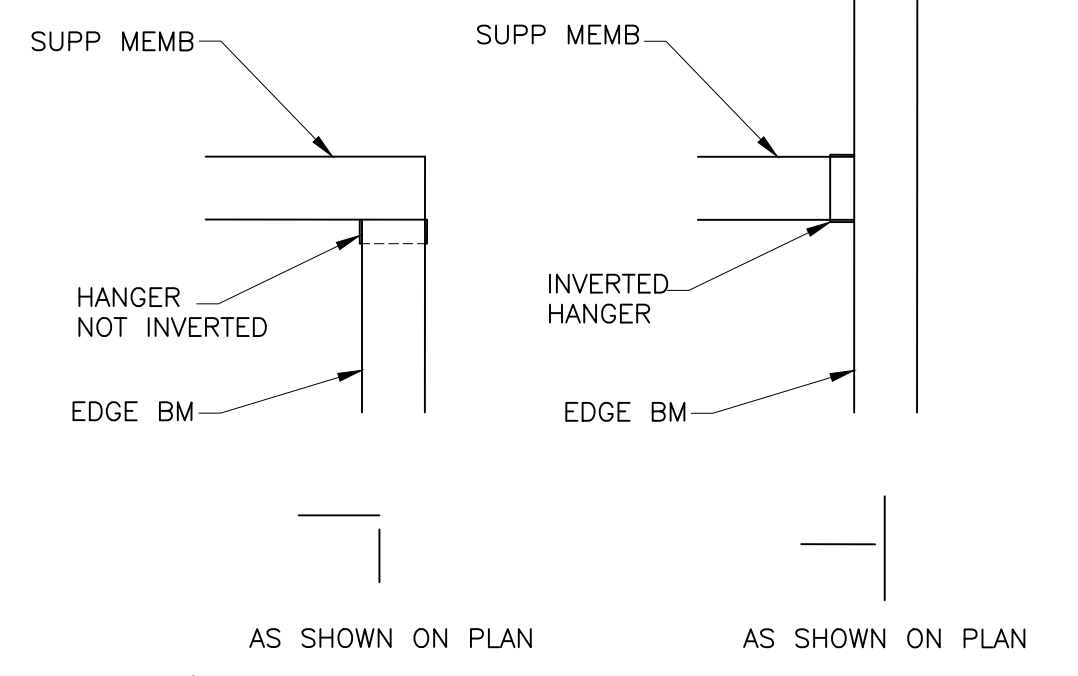
15 SECTION
S4.3 SCALE: 3/4" = 1'-0"



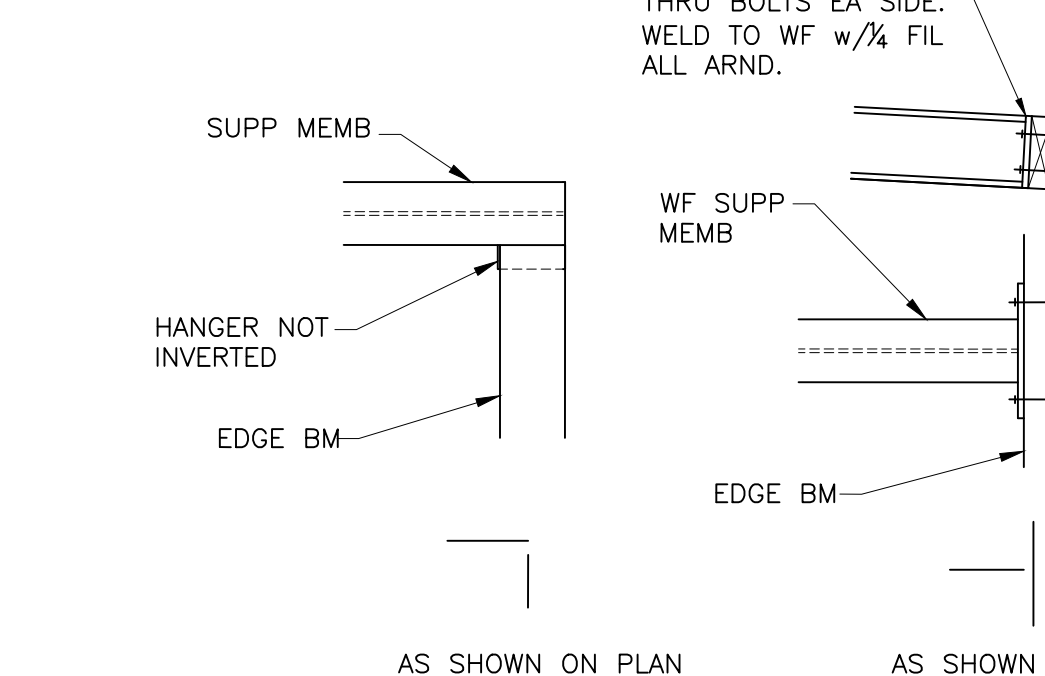
13 SECTION
S4.3 SCALE: 3/4" = 1'-0"



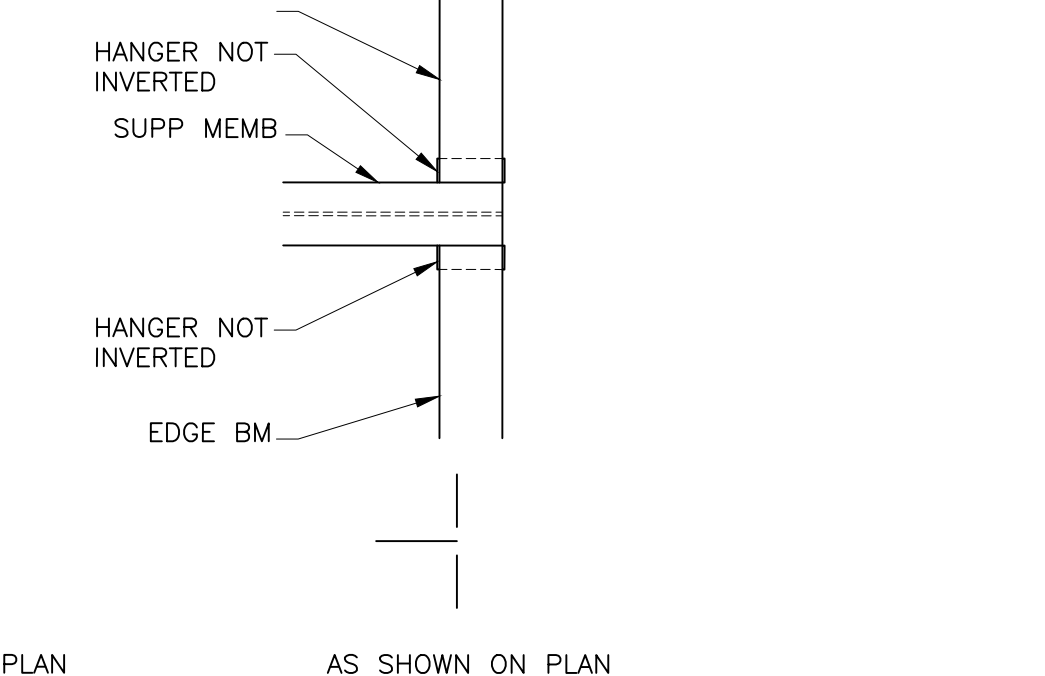
20 TYP EDGE BM CONN
S4.3 SCALE: 3/4" = 1'-0"



13 SECTION
S4.3 SCALE: 3/4" = 1'-0"



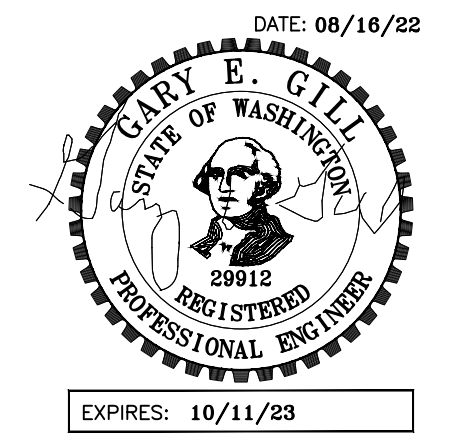
13 SECTION
S4.3 SCALE: 3/4" = 1'-0"



13 SECTION
S4.3 SCALE: 3/4" = 1'-0"

20 TYP EDGE BM CONN
S4.3 SCALE: 3/4" = 1'-0"

GARY GILL, SE
1125 NE 152nd STREET
SHORELINE, WA 98155
PH: 206-992-2728
GILL26608@YAHOO.COM
COPYRIGHT 2016 McCLELLAN ARCHITECTS



PROJECT:
WEST VIEW RESIDENCE
4045 WEST MERCER WAY
MERCER ISLAND, WA 98040

CLIENT:
FERAS ALROUK
7683 SE 27th STREET UNIT #418
MERCER ISLAND, WA 98040

ISSUE:
PERMIT SUBMITTAL 02-26-2022
PERMIT COMMENTS RESPONSE
08-16-2022

DATE:
26 FEB 2022

SHEET TITLE:
FRAMING DETAILS

SHEET:
S4.3